



ENVIRONMENTAL COMMITTEE MEETING

Municipal Center Council Chambers
1616 Humboldt Ave, West St. Paul, MN 55118

January 7, 2026

6:00 P.M.

1. Call To Order

2. Roll Call

3. Community Comments

4. New Business

4.A. Approve October 1, 2025 Minutes

Documents:

[ENVIRONMENTAL COMMITTEE MEETING MINUTES OCTOBER 2025.PDF](#)

4.B. Code Language Review- Landscaping Requirements

Documents:

[LANDSCAPING MEMO - 01.07.2026.PDF](#)

4.C. Site Plan Review- 424 Butler Ave

Documents:

[MEMO- 424 BUTLER AVE. SITE PLAN REVIEW.PDF](#)
[424 BUTLER COMBINED PLAN SET - 12.17.2025.PDF](#)

5. Old Business

6. Updates

6.A. Staff

6.B. Subcommittee

6.C. City Council

6.D. Park & Recreation Committee

6.E. Planning Commission

6.F. Other

7. Adjourn

*If you need an accommodation to participate in the meeting, please contact the ADA Coordinator at
651-552-4108 or email ADA@wspmn.gov at least 5 business days prior to the meeting
www.wspmn.gov EOE/AA*

West St. Paul Environmental Committee
Meeting Minutes
6:00 pm, October 1, 2025
West St. Paul Municipal Center- City Council Chambers

1. Call to Order

2. Roll Call: Committee members in attendance: Chair Joshua Przybylski, Kelly Gibson, Ashley Khondakar, Julie Lyford, Stephanie Moline

Non-voting members in attendance: Liz Gillen, Jess Hall, Eric Weiss

3. Citizen Comments:

The following person came forward to speak:

Savannah Barry

Weiss talked about having [student] youth representation on the committee. Membership would require council support and a by-law change. He will follow up on this endeavor.

4. New Business

- a. Approve July 2, 2025 Minutes-** The minutes from the July 2, 2025 meeting, were corrected: Stephanie Moline was present at the July 2 meeting. With this correction, the July 2 minutes were approved.
- b. Review City Tree List –** Weiss introduced Jess Hall. Hall was hired as the city’s first Natural Resources Specialist. Hall will help with a variety of projects: pollinator spaces, developing policy, community education and engagement on environmental matters including water, soil, plants, air and transportation. She works interdepartmentally with Parks, Public Works and Planning Departments. She is also the new staff liaison to the committee.

Hall discussed the city tree list project. The Americorp member started work on the list, and Hall is building this work. The previous tree list had only 30 species. Limited species can make communities more vulnerable to disease. The new tree list was developed with guidance from other Twin City municipalities, the University of MN and the Department of Natural Resources. It lists 114 species, (both native and climate adaptive). The goal is to develop specialized lists for different location scenarios.

Committee members requested that the tree list worksheet be a more guided resource for different location needs and for the tree species to be prioritized. Hall said that she would share the tree list file with committee members so that they could comment on it.

5. Old Business: NA

6. Updates

a. Staff Updates

i. Jess Hall

- 1. Met Council Tree Grant-** Hall is working with street and park maintenance on the plan for tree removals. Next spring the city will plant 250 trees through the tree grant. The city is working also on a grant

application for education and outreach for tree planting on private property.

2. **City Hall Pollinator Project-** Two weeks ago, 47 volunteers worked on the hillside outside city hall and planted 1,320 native plug plants and 80 pounds of native bee lawn seed. Great River Greening led the event; Hall is now watering the plantings to keep them alive.
3. **Tree Sale-**The sale is still live online until October 3. Tree Trust is facilitating the sale. Pick up for the trees in on October 18. The tree species follow our tree guidelines. Mississippi Park Connection reached out to the city to give out free bare root tree giveaways as part of the tree sale. The free trees for higher need areas.
4. **Kennedy Park Tree Planting** The tree planting is scheduled with Tree Trust on October 11.

ii. **Eric Weiss**

1. **Kennedy Park Reconstruction-** Twenty-five trees are being planted at the park. There will be 14 tree varieties. The park reconstruction is going well, and the city is planning a grand reopening on Sat, Nov 1. It will be the Day of the Dead, and the city will try to find ways to celebrate the holiday.
2. **Smith-Dodd Concept Plans-** The plans were adopted by Council at its last meeting. The project is now moving forward into further design.
3. **150 Thompson Concept Plans-** The plans will be reviewed by the Parks and Recreation Committee next week for approval. The 3-D renderings of the plans will be available for viewing soon.
4. **Holiday Décor Swap-** The swap will take place this Saturday at the Harmon Park Neighborhood Center.
5. **City Cleanup Day-** The fall cleanup will be on October 11. The cleanup is city-wide. The supply and donut pick-up will be at Harmon Park at 9:30 am. The 150 Thompson area is of especial concern. A group of volunteers will kayak in the lake picking up garbage.
6. **Volunteer Appreciation Dinner-** There is an appreciation dinner for Environmental and Park's Committee members on Tuesday, November 18. Please let Eric or Jess know if you plan to attend.

- b. **Landscaping Subcommittee-** Khondakar reported that the subcommittee met on August 15 and discussed putting together pamphlets, bookmarks and yard signs as possible deliverables. The focus is education on invasive species. The yard signs would feature humorous themes like "Most Wanted," or "Outlawed," and identifiable images of the invasive species plant. The subcommittee also talked about having a QR code that would lead to the tree planting list and pamphlets on each park describing its amenities and attractions.

The subcommittee discussed the plantings in traffic roundabouts and the need to plant more native plants in the roundabouts for the city to lead by example. Another topic of

discussion was the problem of garden maintenance in city parks. They talked about the possibility of community gardens, and partnerships with master gardeners and neighborhood residents to maintain the park gardens.

- c. **Parks and Recreation Committee-** Weiss reported that the Parks Committee recommended for approval the Albert Park and Plaza and Officer memorial plans. The plans were approved unanimously in September. The Parks system plan was also approved unanimously. It is ninety-eight percent done and Weiss is working on the final details. City Council will review it at the October 27 meeting.
 - d. **Planning Commission-** Gillen said there was no new news to report.
 - e. **City Council-** NA.
7. **Other** -NA
8. **Adjournment**
- The meeting was adjourned at 7:20 pm.

Respectfully submitted,
Sharon G. Hatfield

Meeting Date: Wednesday, January 7, 2026

Prepared By: Melissa Houtsma, Community Development

Subject: Review of Current Landscaping Requirements

Request

Read and review the existing landscaping requirements outlined in the zoning code (attached) and provide staff with recommendations and options for refinement.

Background

As projects come through for review, staff works to uphold the regulations established in the city code. One piece of this includes a more broad evaluation to determine if the existing language continues to serve the city's goals and priorities effectively. While the current regulations have been in place for a number of years and provide a solid foundation, there are a number of areas where the language could be updated or clarified to better support the work that staff does and the community as a whole.

Opportunity Areas

The following points include a few areas for review and are intended to set the stage for additional discussion on how the current standards could be further refined.

1. Detailed, but limited list of allowable plantings

The current code includes a specific, limited list of "quality" trees (such as maple, ash, and spruce) directly within the ordinance. While this makes for a clear and clean-cut approach, it also decreases the likelihood of a diverse stock of trees. Additionally, embedding these details in the code does require staff time and likely legal review for hearings whenever an update is needed. Transitioning to an administrative list, that would be available upon request, could streamline the process while still preserving clarity and transparency.

2. Clarification of Priorities

A possible opportunity to harmonize the language includes clarifying the general property landscaping and tree replacement requirements. Currently, the code asks for a specific number of buffer trees depending on the length of the perimeter around the property, while also requiring a 30% replacement of the total caliper inches removed. A clearer policy would help to better understand whether the primary goal is the preservation of existing canopy or the successful establishment of new replacement trees, while also ideally communicating that these two things are not mutually exclusive.

3. Incorporating an Option for Alternative Compliance

While codes are often written with the best of intentions, the reality is that something so permanent likely cannot universally apply to each and every scenario. While staff acknowledges that benefits and importance of preserving and planting trees, each site or project will come with its own unique set of limitations. Incorporating the option for a fee in lieu of plantings may serve as an alternative for projects that have clearly demonstrated a commitment to compliance, but simply are unable to meet the requirements due to various unique constraints.

4. Various Minor Options

Broader Vegetation Options: Recognizing the value of ornamental trees, shrubs, and grasses in addition to the listed standard of deciduous and evergreen trees.

Planting Health: Ensuring new trees have adequate ground area and an anticipated area for the species necessary canopy spread to better ensure longevity.

Definitive Expectations: Providing more detailed clarity and guidance on expectations around maintenance and preservation of existing mature trees during and after the development process.

Contextual Scaling: Reviewing the minimum size requirements for trees in residential, commercial, and industrial districts to ensure a strategic vision that is calibrated with practical constraints.

Next Steps

Review existing landscaping code requirements and provide feedback. Staff has also provided a more structured opportunity for feedback. In the attached survey, please rate the importance of or select your preference of the options listed. While staff recognizes that all these items are important and work to create a benefit, this survey will help to narrow in on the more finite details and priority areas.

Example:

	Very important ↔ Not important				
	1	2	3	4	5
Creating a healthy, fun, and sustainable environment for West St. Paul residents	X				

	A	B
Best St. Paul city: A. West St. Paul B. Other (e.g. South St. Paul, North St. Paul)	X	

Landscaping Requirements Survey

Very important ↔ Not important

	1	2	3	4	5
Initial Selection					
Maintaining an updated preferred plantings list					
Diversity of tree species					
Diversity of planting types (<i>e.g. trees, shrubs, grasses</i>)					
Preservation of existing trees					
Ensuring sufficient replacement of trees removed					
Planting native and/or climate appropriate species					
Multi-purpose plantings (<i>e.g. fruit trees, pollinator friendly</i>)					
Placement					
Perimeter plantings or screening					
Distribution throughout the property					
Minimum planting area or spacing					
Maintenance					
Plantings be fully irrigated					
Ground treatment/root collar (<i>e.g. turf, wood mulch, rock mulch</i>)					
Neonicotinoid-free practices					

	A	B
Minimum planting requirements by: C. Property (e.g. perimeter, lot area) D. Use (e.g. residential = 1 tree per unit, commercial = 1 tree per 1,000 sq. ft.)		
Minimum requirements: A. Minimum amount of green space B. Minimum number of trees		
Preservation: A. Value by type and species B. Value by size (tiered approach)		
Accepting payment in lieu of plantings A. Yes B. No		

§ 153.031 SITE PLAN APPROVAL PROCEDURE AND DESIGN REQUIREMENTS IN RESIDENTIAL DISTRICTS.

...

(4) *Landscape standards.*

- (a) The off-street parking setback area shall be utilized as a protective buffer. The protective buffer shall not be used for parking, drive aisles, off-street loading or storage and shall be landscaped.
- (b) Minimum landscape requirements in the protective buffer shall include the following “quality type trees,” one two and one-half inch diameter at four feet above grade caliper deciduous tree, which shall be, hardwood type trees such as, maple, seedless green ash, locust or basswood, or six-foot conifer type trees, such as Colorado blue spruce, white pine, red pine or pyramidal arborvitae, or other approved types. The number of trees required is the equivalent of one for every 40 feet lineal of property line on the subject site or as approved through the site plan process. The protective buffer shall also contain grass, ground cover or shrubs and shall be irrigated to facilitate maintenance of landscaped areas. No impervious surfaces such as concrete or asphalt shall be placed in the protective buffer.
- (c) Minimum landscape requirements for each curbed island shall include one one and one-half inch diameter at four feet above grade caliper deciduous tree, all of which must be of “quality” types as listed in division (D)(4)(b) above. The curbed island shall also contain grass, ground cover or shrubs and shall be irrigated to facilitate maintenance of landscaped areas. No impervious surfaces such as concrete or asphalt shall be placed in the curbed island.
- (d) When tree removal occurs, replacement trees shall constitute at least 30% of the total amount of the caliper inches of “quality trees” removed.
- (e) All trees shall be placed around the site to promote the most efficient and effective use of the different types of trees installed.
- (f) When located adjacent to a single family or two-family use, the provisions of § [153.381](#) shall apply, except that for the portion adjacent to the residential properties, screening from the front building line to the rear property line and along the rear property line shall be six feet in height.

§ 153.032 SITE PLAN APPROVAL PROCEDURE AND DESIGN REQUIREMENTS IN COMMERCIAL AND INDUSTRIAL DISTRICTS.

...

- (F) *Landscape, lighting and sign standards.* Unless modified as part of a site and building plan approval process, the following requirements apply.
- (1) The setback area shall be utilized as a protective buffer. The protective buffer shall not be used for parking, drive aisles, off-street loading or storage and shall be landscaped up to the building.
 - (2) Minimum landscape requirements in the protective buffer shall include the following “quality type trees,” one two and one-half inch diameter at four feet above grade caliper deciduous tree, which shall be hardwood type trees such as maple, seedless green ash, locust or basswood, or six-foot conifer type trees, such as Colorado blue spruce, white pine, red pine or pyramidal arborvitae, or other approve types. The number of trees required is the equivalent of one for every 20 feet of lineal property line on the subject site or as approved through the site plan process. The protective buffer shall also contain grass, ground cover or shrubs and shall be irrigated to facilitate maintenance of landscaped areas. No impervious surfaces such as concrete or asphalt shall be placed in the protective buffer.
 - (3) Minimum landscape requirements for each curbed island shall include one two and one-half inch diameter at four feet above grade caliper deciduous tree all of which must be of “quality” types as listed in division (F)(2) above. The curbed island shall also contain grass, ground cover, mulch or shrubs and shall be irrigated by an underground irrigation system to facilitate maintenance of landscaped areas. No impervious surfaces such as concrete or asphalt shall be placed in the curbed island.
 - (4) When a commercial or industrial development is located adjacent to or across from any “R” use, screening must comply with § [153.381](#), except that for the portion adjacent to the residential properties, screening from the front building line to the rear property line and along the rear property line shall be six feet in height. Required screening will be at least 95% opaque throughout the year. One or a combination of the following will satisfy the required screening:
 - (a) A decorative fence;
 - (b) A masonry wall; and/or
 - (c) Landscaping.
 - (5) Lighting levels must not exceed zero foot-candles at the abutting property line. No direct glare may extend onto the public street, public open space or neighboring properties.
 - (6) Regardless of the scope of the proposed construction, all signs must comply with the provisions of §§ [153.430](#) through [153.438](#) and §§ [150.105](#) through [150.110](#).
 - (7) When tree removal occurs, replacement trees shall constitute at least 30% of the total amount of the caliper inches of “quality trees” removed.
 - (8) All trees shall be placed around the site to promote the most efficient and effective use of the different types of trees installed.

Meeting Date: Wednesday, January 7, 2026

Prepared By: Melissa Houtsma, Community Development

Subject: Review of redevelopment plans for 424 Butler Ave. E.

Request

Review submitted plans for the redevelopment of the 424 Butler Avenue East property.

Background

In early 2025, the city’s economic development authority (EDA) purchased the 1.84 acre property. This decision was made after the city was contacted by multiple developers inquiring about the property and the potential for redevelopment. This area has been zoned and guided for multiple family residential housing for a number of decades. However, in an interest to ensure a more diverse housing stock within the city, the EDA voted to purchase the property with the intent to redevelop the site and build affordable townhomes.

Since that time, city staff has been working with a number of consultants to analyze the property and create the included plans. The proposal includes clearing the site, including the demolition of the existing single family home, to regrade the property and construct three buildings encompassing 13 townhomes. Additionally, as the area is currently zoned and guided for apartments, this project also includes a comprehensive plan amendment as well as rezoning several of the surrounding properties.

Landscaping

Removal

The submitted plans detail the removal of all trees on site, as the site will need to be re-graded to ensure sufficient drainage. Page C-1 of the submitted plans shows further details on the type and status of the existing trees, but a summary of the removals is included below.

Tree Removals	Quantity	Caliper Inches
Quality	78	1,198
Non-Quality	38	522
Total	116	1,720

Replacement

When trees are removed as a part of the site plan process, at least 30% of the quality trees (at least 2.5 cal. in.) must be replaced. Based on the submitted plans, the minimum replacement requirement calculates to 359 inches (roughly 144 trees if measuring at 2.5”).

The list below includes the initial proposal for new plantings on the site. Staff has crossed out the initially proposed plantings (shown by the ~~double strikethrough~~) and added alternative plantings in red text as well as recommended additional plantings.

Deciduous trees (57)	Size (in.)	Quantity
New Harmony Elm	2.5”	5
Northern Red Oak	2.5”	7
Bur Oak	2.5”	3
Swamp White Oak	2.5”	4
Red Rocket Maple	2.5”	7
Common Hackberry	2.5”	3
Honey Lotus	2.5”	4
Firefall Maple	2.5”	12
Black Cherry	2.5”	6
Little Leaf Linden	2.5”	6
River Birch	2.5”	10
Autumn Brilliance Serviceberry	2.5”	9
Red Cedar	2.5”	7
Initially proposed planting Recommended alternative Recommended additional planting		

Staff is also recommending that the size of trees be increased from 2.5 caliper inches up to 3 inches. This brings the number of proposed trees/caliper inches for the site to 57 trees and 171 caliper inches. As these numbers fall below the minimum requirement (144 trees/359 inches), staff is requesting feedback from the commission on where additional trees might be planted as well as recommended types.

Stormwater Management

The majority of the stormwater from the site will be filtered through the biofiltration basin in the southeast section of the site, with a small portion also draining to the southwest. Final site grading can be seen on page C-3 of the included plans.

Recommendations

In summary, staff has the following recommendations:

- All trees are to be increased in size from 2.5 caliper inches to 3 caliper inches.

- The seven Northern Red Oak trees are to be replaced with three Bur Oak and four Swamp White Oak trees.
- The seven Red Rocket Maple trees are to be replaced with three Common Hackberry and four Honey Lotus trees.
- The 12 Firefall maple trees are to be replaced with six Black cherry and six Little Leaf Linden trees.
- The plans shall include an additional seven Red Cedar trees.

LEGEND		PROPERTY LINE	
○ (688.71)	= PROPOSED SPOT ELEVATION	---	WETLAND
○ (688.71)	= EXISTING SPOT ELEVATION	---	SETBACK
●	FOUND IRON MARKER	---	EASEMENT
○	SET IRON MARKER	---	CENTERLINE
○	LIGHT	---	WATERSHED
○	POWER POLE	---	SANITARY SEWER
○	UTILITY PEDESTAL	---	STORM SEWER
○	TRANSFORMER	---	OVERHEAD UTILITY LINE
○	EXISTING TREE	---	UNDERGROUND ELECTRIC
○	CATCH BASIN	---	UNDERGROUND GAS
○	STORM MANHOLE	---	UNDERGROUND FIBER OPTIC
○	SANITARY MANHOLE	---	UNDERGROUND TELEPHONE
○	GATE VALVE		
○	HYDRANT		

GENERAL NOTES:

- 1.CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BIDDING TO ASSURE SCOPE OF WORK IS UNDERSTOOD AND IS TO CONTACT ENGINEER PRIOR TO BIDDING FOR ANY CLARIFICATION NEEDED. THERE WILL BE NO ADDITIONAL COMPENSATION FOR ITEMS THAT COULD HAVE BEEN CLARIFIED PRIOR TO BID SUBMITTAL.
- 2.CONTRACTOR TO FOLLOW ALL CITY DESIGN DETAILS AND ALL WORK TO MEET LOCAL, STATE, AND FEDERAL CODES.
- 3.ALL MATERIALS AND WORKMANSHIP TO MEET MnDOT SPECIFICATIONS.
- 4.STATE LAW REQUIRES NOTIFICATION OF GOPHER STATE ONE CALL FOR LOCATION OF UTILITY OWNED LINES 48 HOURS PRIOR TO BEGINNING WORK. PRIVATE UTILITY LINES WILL NOT BE LOCATED AS PART OF A GOPHER STATE ONE CALL, BUT CAN BE LOCATED BY A CONTRACT LOCATOR OR OTHER SUITABLE MEANS. CONTRACTOR IS RESPONSIBLE FOR LOCATION FOR LOCATING ALL UTILITY LINES PRIOR TO CONSTRUCTION.
- 5.ALL DOWN GRADIENT SEDIMENT CONTROL BMPs SHALL BE INSPECTED BY THE CITY PRIOR TO ANY LAND DISTURBANCE.

ID	SPECIES	DBH (in)	QUALITY	ID	SPECIES	DBH (in)	QUALITY	ID	SPECIES	DBH (in)	QUALITY
1	Hackberry	20	QUALITY	41	Ash (Dead)	22	NOTQUALITY	81	Cottonwood	10	NOTQUALITY
2	Hackberry	13	QUALITY	42	Red Oak	15	QUALITY	82	Cottonwood	11	NOTQUALITY
3	Red Pine	19	QUALITY	43	River Birch	16	QUALITY	83	Birch	9	QUALITY
4	Spruce	13	QUALITY	44	Red Oak	14	QUALITY	84	Birch	9	QUALITY
5	Spruce	16	QUALITY	45	River Birch	9	QUALITY	85	Birch	11	QUALITY
6	Spruce	13	QUALITY	46	River Birch	8	QUALITY	86	Birch	20	QUALITY
7	Spruce	13	QUALITY	47	River Birch	7	QUALITY	87	Ash	8	NOTQUALITY
8	Spruce	15	QUALITY	48	River Birch	8	QUALITY	88	Birch	13	QUALITY
9	Red Pine	17	QUALITY	49	River Birch	8	QUALITY	89	Birch	9	QUALITY
10	Red Pine	16	QUALITY	50	Ash (Dead)	19	NOTQUALITY	90	Cottonwood	12	NOTQUALITY
11	Red Pine	15	QUALITY	51	River Birch	9	QUALITY	91	Cottonwood	12	NOTQUALITY
12	Red Pine	9	QUALITY	52	Ash	8	NOTQUALITY	92	Cottonwood	19	NOTQUALITY
13	Cottonwood	30	NOTQUALITY	53	INTENTIONALLY BLANK			93	NOTQUALITY	9	NOTQUALITY
14	Birch	9	QUALITY	54	River Birch	16	QUALITY	94	Birch	9	QUALITY
15	Hackberry	26	QUALITY	55	River Birch	15	QUALITY	95	Cottonwood	12	NOTQUALITY
16	Red Oak	20	QUALITY	56	Bowlder	8	QUALITY	96	Cottonwood	15	NOTQUALITY
17	Walnut	24	QUALITY	57	River Birch	18	QUALITY	97	Cottonwood	15	NOTQUALITY
18	Red Oak	13	QUALITY	58	River Birch	9	QUALITY	98	Birch	8	QUALITY
19	Red Oak	15	QUALITY	59	White Oak	9	QUALITY	99	Cottonwood	11	NOTQUALITY
20	Birch	16	QUALITY	60	White Oak (Dead)	9	NOTQUALITY	100	Cottonwood	10	NOTQUALITY
21	Mountain Ash	11	QUALITY	61	White Oak	33	QUALITY	101	Birch	10	QUALITY
22	Birch	12	QUALITY	62	Maple	12	QUALITY	102	Cottonwood	18	NOTQUALITY
23	Birch	15	QUALITY	63	Maple	9	QUALITY	103	Cottonwood	14	NOTQUALITY
24	White Oak	41	QUALITY	64	Maple	16	QUALITY	104	Cottonwood	14	NOTQUALITY
25	White Oak	59	QUALITY	65	Maple	14	QUALITY	105	Cottonwood	15	NOTQUALITY
26	Red Pine	17	QUALITY	66	Maple	15	QUALITY	106	Cottonwood	12	NOTQUALITY
27	White Oak	50	QUALITY	67	Maple	9	QUALITY	107	Birch	10	QUALITY
28	Red Pine	15	QUALITY	68	White Oak	10	QUALITY	108	Cottonwood	8	NOTQUALITY
29	INTENTIONALLY BLANK			69	White Oak	29	QUALITY	109	Cottonwood	9	NOTQUALITY
30	Walnut	18	QUALITY	70	Cottonwood	14	NOTQUALITY	110	Cottonwood	15	NOTQUALITY
31	Hackberry	10	QUALITY	71	Cottonwood	9	NOTQUALITY	111	Birch	10	QUALITY
32	White Oak	32	QUALITY	72	Cottonwood	16	NOTQUALITY	112	Cottonwood	9	NOTQUALITY
33	Walnut	9	QUALITY	73	Cottonwood	13	NOTQUALITY	113	Cottonwood	17	NOTQUALITY
34	Walnut	16	QUALITY	74	Cottonwood	9	NOTQUALITY	114	Cottonwood	18	NOTQUALITY
35	Walnut	10	QUALITY	75	Birch	8	QUALITY	115	Bowlder	11	QUALITY
36	Hackberry	10	QUALITY	76	Cottonwood	21	NOTQUALITY	116	Birch	10	QUALITY
37	Walnut	18	QUALITY	77	Cottonwood	13	NOTQUALITY	117	Cottonwood	15	NOTQUALITY
38	Spruce (Dead)	12	NOTQUALITY	78	Cottonwood	12	NOTQUALITY	118	Red Oak	10	QUALITY
39	Spruce	12	QUALITY	79	Birch	11	QUALITY	119	Maple	15	QUALITY
40	Spruce	12	QUALITY	80	Cottonwood	12	NOTQUALITY				

ASSUME ALL TREES ARE REMOVED FOR REPLACEMENT CALCULATION

Total Caliper Inches Removed	1,720
Quality Caliper Inches Removed	1,190
Required Replacement Caliper Inches	357
Required Replacement 2.5" Tree	143



7514 OLIVER AVE S
MINNEAPOLIS, MN 55423
BUS (612) 220-0152
EMAIL: INFO@ELLIOTTDESIGNBUILD.COM

CLIENT
CITY OF WEST ST PAUL
1616 HUMBOLDT AVE. WEST
WEST ST PAUL, MN 55118

PROJECT
BUTLER AVE DEVELOPMENT

REVISION	Nº	DATE
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT Nº
E586

SITE
424 BUTLER AVE E
WEST ST PAUL, MN 55118

**PRELIMINARY
NOT FOR
CONSTRUCTION**

CIVIL SHEET INDEX

SHEET	TITLE
C-1	REMOVALS & TREES
C-2	PRELIM GRADING & ERSN CTRL
C-3	FINAL GRADING & ERSN CTRL
C-4	UTILITIES
C-5	SITE & LANDSCAPING
D-1	DETAILS
D-2	DETAILS
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DRAWING TITLE
REMOVALS & TREES

DRAWING Nº
C-1

DRAWN BY
B. PASSOLT

CHECKED BY
L. ELLIOTT

DATE 12/17/25	PAGE Nº. 1 OF 7	
SCALE 1" = 20'	REV. -	SIZE 22"X34"

LEGEND

○ (688.31)	= PROPOSED SPOT ELEVATION	---	PROPERTY LINE
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○	SET IRON MARKER	---	EASEMENT
○	LIGHT	---	CENTERLINE
○	POWER POLE	---	WATERSMAN
○	UTILITY PEDESTAL	---	SANITARY SEWER
○	TRANSFORMER	---	STORM SEWER
○	EXISTING TREE	---	OVERHEAD UTILITY LINE
○	CATCH BASIN	---	UNDERGROUND ELECTRIC
○	STORM MANHOLE	---	UNDERGROUND GAS
○	SANITARY MANHOLE	---	UNDERGROUND FIBER OPTIC
○	GATE VALVE	---	UNDERGROUND TELEPHONE
○	HYDRANT		

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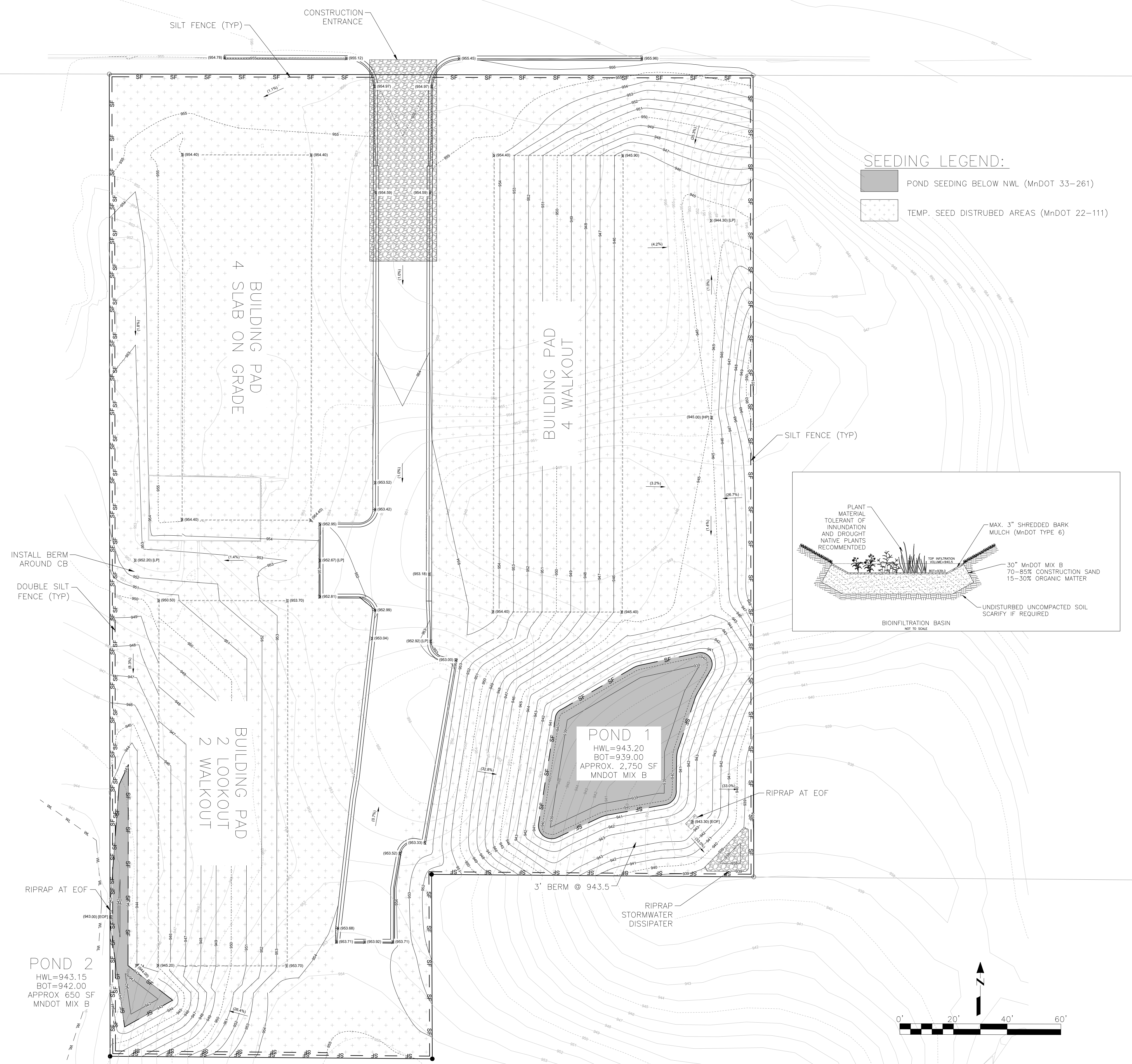
GRADING NOTES:

1. VERIFY WITH ENGINEER IF FIELD ELEVATION VARY GREATLY.
2. CURB GRADES ARE SHOWN AT FLOWLINE.
3. DISTURBED AREA TO RECEIVE 6" TOPSOIL.
4. MAXIMUM SLOPE 3:1.

EROSION CONTROL NOTES:

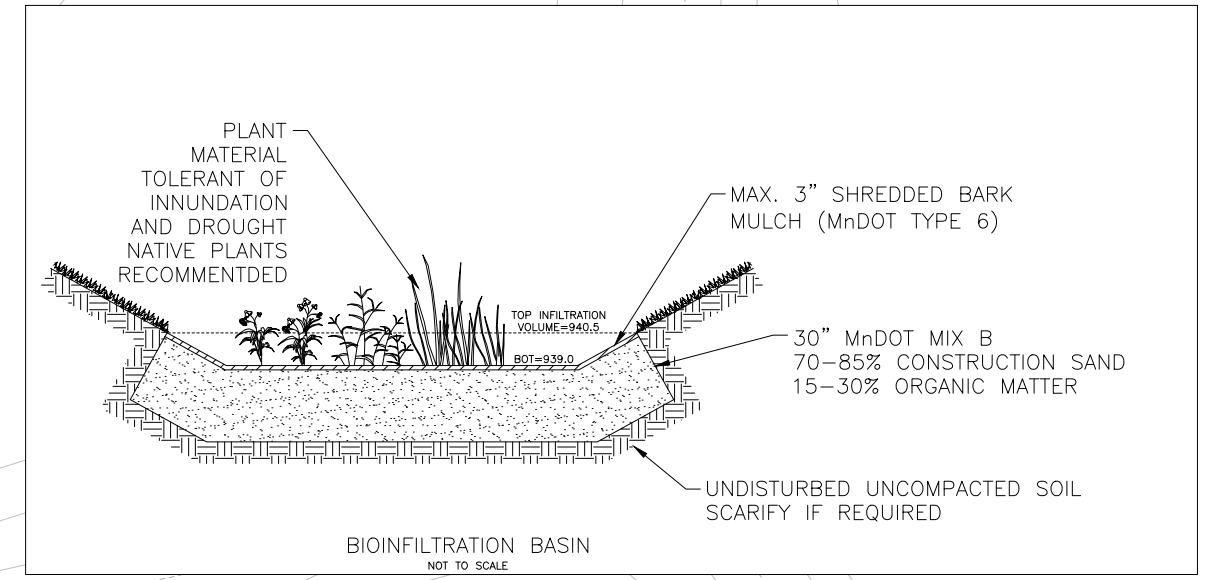
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3. FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
4. CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, AND SANITARY WASTE MUST BE PROPERLY MANAGED.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S MUST BE REMOVED UPON FINAL STABILIZATION.
7. SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF THE SOIL PROFILE WHILE TAKING CARE TO PROTECT UTILITES, TREE ROOTS, AND OTHER EXISTING VEGETATION.
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BUILDING ABBREVIATIONS
 SOG FFE: SLAB ON GRAD FINISH FLOOR ELEVATION
 WO FFE: WALKOUT FINISH FLOOR ELEVATION
 WOE: WALKOUT ELEVATION
 LO FFE: LOOKOUT FINISH FLOOR ELEVATION
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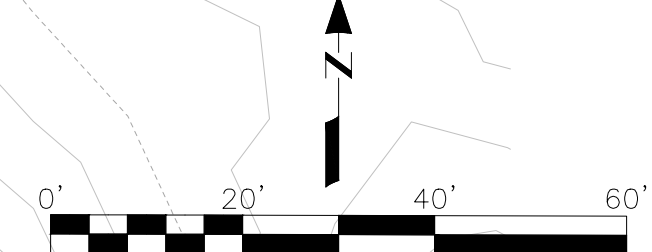
SEEDING LEGEND:

- POND SEEDING BELOW NWL (MnDOT 33-261)
- TEMP. SEED DISTURBED AREAS (MnDOT 22-111)



POND 2
 HWL=943.15
 BOT=942.00
 APPROX 650 SF
 MNDOT MIX B

POND 1
 HWL=943.20
 BOT=939.00
 APPROX. 2,750 SF
 MNDOT MIX B



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CLIENT
 CITY OF WEST ST PAUL
 1616 HUMBOLDT AVE. WEST
 WEST ST PAUL, MN 55118

PROJECT
 BUTLER AVE DEVELOPMENT

REVISION	N°	DATE
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PROJECT N°
 E586

SITE
 424 BUTLER AVE E
 WEST ST PAUL, MN 55118

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

CIVIL SHEET INDEX

SHEET	TITLE
C-1	REMOVALS & TREES
C-2	PRELIM GRADING & ERSN CTRL
C-3	FINAL GRADING & ERSN CTRL
C-4	UTILITIES
C-5	SITE & LANDSCAPING
D-1	DETAILS
D-2	DETAILS
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DRAWING TITLE
 PRELIM. GRADING & EROSION CONTROL

DRAWING N°
 C-2

DRAWN BY
 B. PASSOLT

CHECKED BY
 L. ELLIOTT

DATE 12/17/25	PAGE N°. 2 OF 7
SCALE 1" = 20'	REV. -
	SIZE 22"X34"

LEGEND

<ul style="list-style-type: none"> ○ PROPOSED SPOT ELEVATION ○ EXISTING SPOT ELEVATION ● FOUND IRON MARKER ○ SET IRON MARKER ○ LIGHT ○ POWER POLE ○ UTILITY PEDESTAL ○ TRANSFORMER ○ EXISTING TREE ○ CATCH BASIN ○ STORM MANHOLE ○ SANITARY MANHOLE ○ GATE VALVE ○ HYDRANT 	<ul style="list-style-type: none"> — PROPERTY LINE — WETLAND — SETBACK — EASEMENT — CENTERLINE — WATERMAIN — SANITARY SEWER — STORM SEWER — OVERHEAD UTILITY LINE — UNDERGROUND ELECTRIC — UNDERGROUND GAS — UNDERGROUND FIBER OPTIC — UNDERGROUND TELEPHONE
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GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BIDDING TO ASSURE SCOPE OF WORK IS UNDERSTOOD AND IS TO CONTACT ENGINEER PRIOR TO BIDDING FOR ANY CLARIFICATION NEEDED. THERE WILL BE NO ADDITIONAL COMPENSATION FOR ITEMS THAT COULD HAVE BEEN CLARIFIED PRIOR TO BID SUBMITTAL.
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GRADING NOTES:

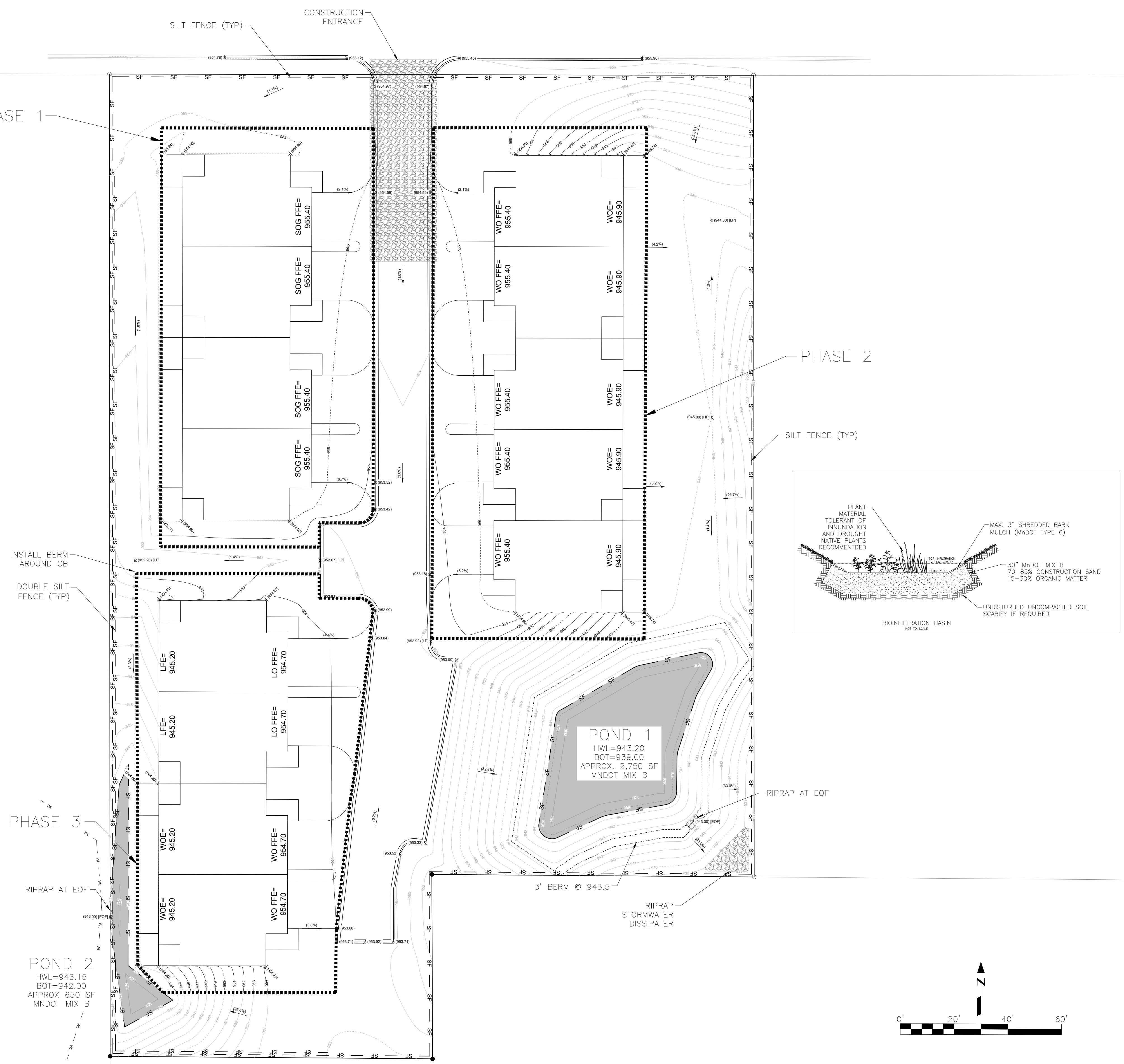
- VERIFY WITH ENGINEER IF FIELD ELEVATION VARY GREATLY.
- CURB GRADES ARE SHOWN AT FLOWLINE.
- DISTURBED AREA TO RECEIVE 6" TOPSOIL.
- MAXIMUM SLOPE 3:1.
- INSTALL EROSION CONTROL DURING BUILDING CONSTRUCTION AS NEEDED.
- RESTORE SEEDED OR SODDED AREAS DISTURBED FROM BUILDING CONSTRUCTION AFTER COMPLETION OF EACH BUILDING PHASE.

EROSION CONTROL NOTES:

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WEST ST PAUL, MN 55118

PROJECT
BUTLER AVE DEVELOPMENT

REVISION	Nº	DATE
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PROJECT Nº
E586

SITE
424 BUTLER AVE E
WEST ST PAUL, MN 55118

**PRELIMINARY
NOT FOR
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CIVIL SHEET INDEX

SHEET	TITLE
C-1	REMOVALS & TREES
C-2	PRELIM GRADING & ERSN CTRL
C-3	FINAL GRADING & ERSN CTRL
C-4	UTILITIES
C-5	SITE & LANDSCAPING
D-1	DETAILS
D-2	DETAILS
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DRAWING TITLE
FINAL GRADING & EROSION CONTROL

DRAWING Nº
C-3

DRAWN BY
B. PASSOLT

CHECKED BY
L. ELLIOTT

DATE 12/17/25	PAGE Nº. 3 OF 7
SCALE 1" = 20'	REV. -
	SIZE 22"X34"

LEGEND

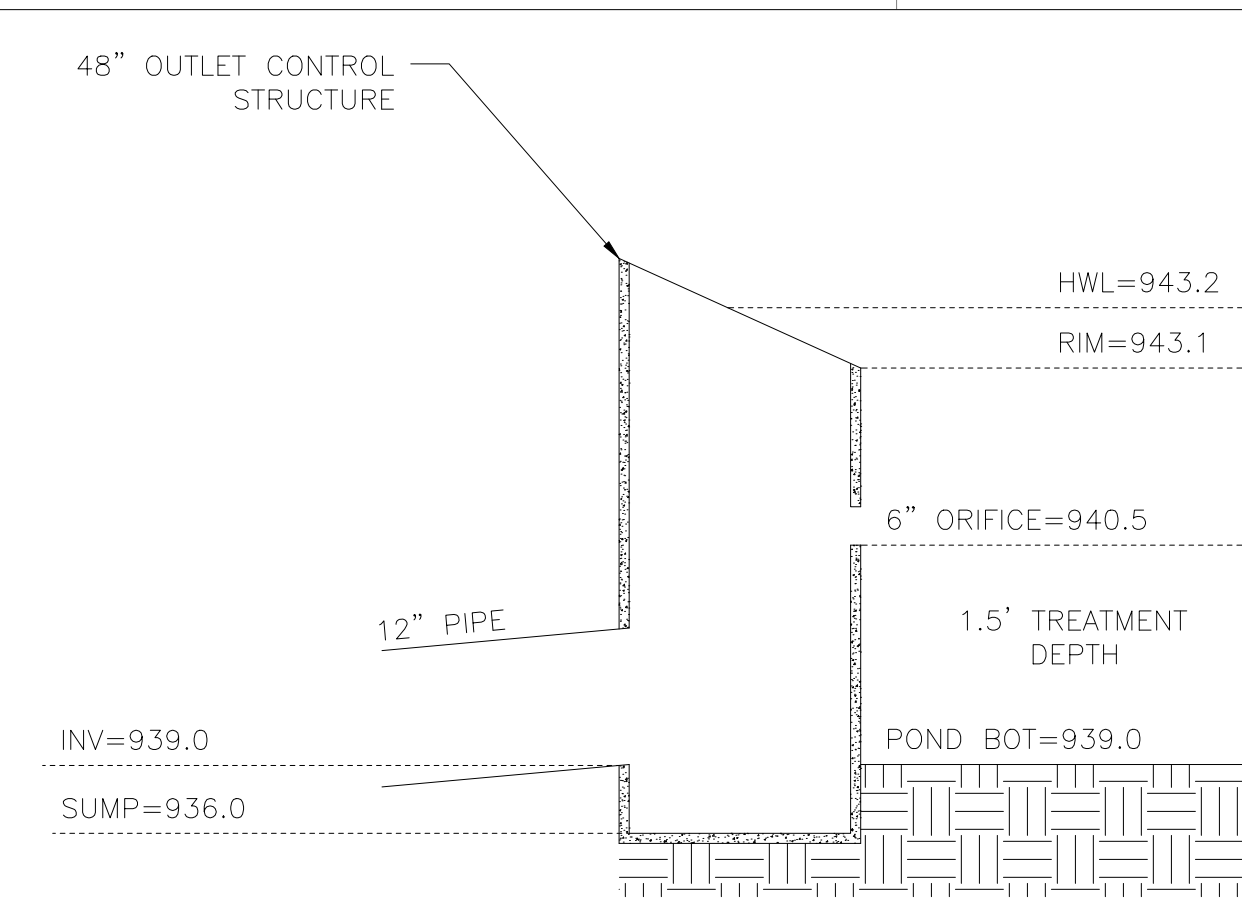
○ (688.31)	= PROPOSED SPOT ELEVATION	---	PROPERTY LINE
○ (888.71)	= EXISTING SPOT ELEVATION	---	WETLAND
●	FOUND IRON MARKER	---	SETBACK
○	SET IRON MARKER	---	EASEMENT
○	LIGHT	---	CENTERLINE
○	POWER POLE	---	WATERSHED
○	UTILITY PEDESTAL	---	SANITARY SEWER
○	TRANSFORMER	---	STORM SEWER
○	EXISTING TREE	---	OVERHEAD UTILITY LINE
○	CATCH BASIN	---	UNDERGROUND ELECTRIC
○	STORM MANHOLE	---	UNDERGROUND GAS
○	SANITARY MANHOLE	---	UNDERGROUND FIBER OPTIC
○	GATE VALVE	---	UNDERGROUND TELEPHONE
○	HYDRANT		

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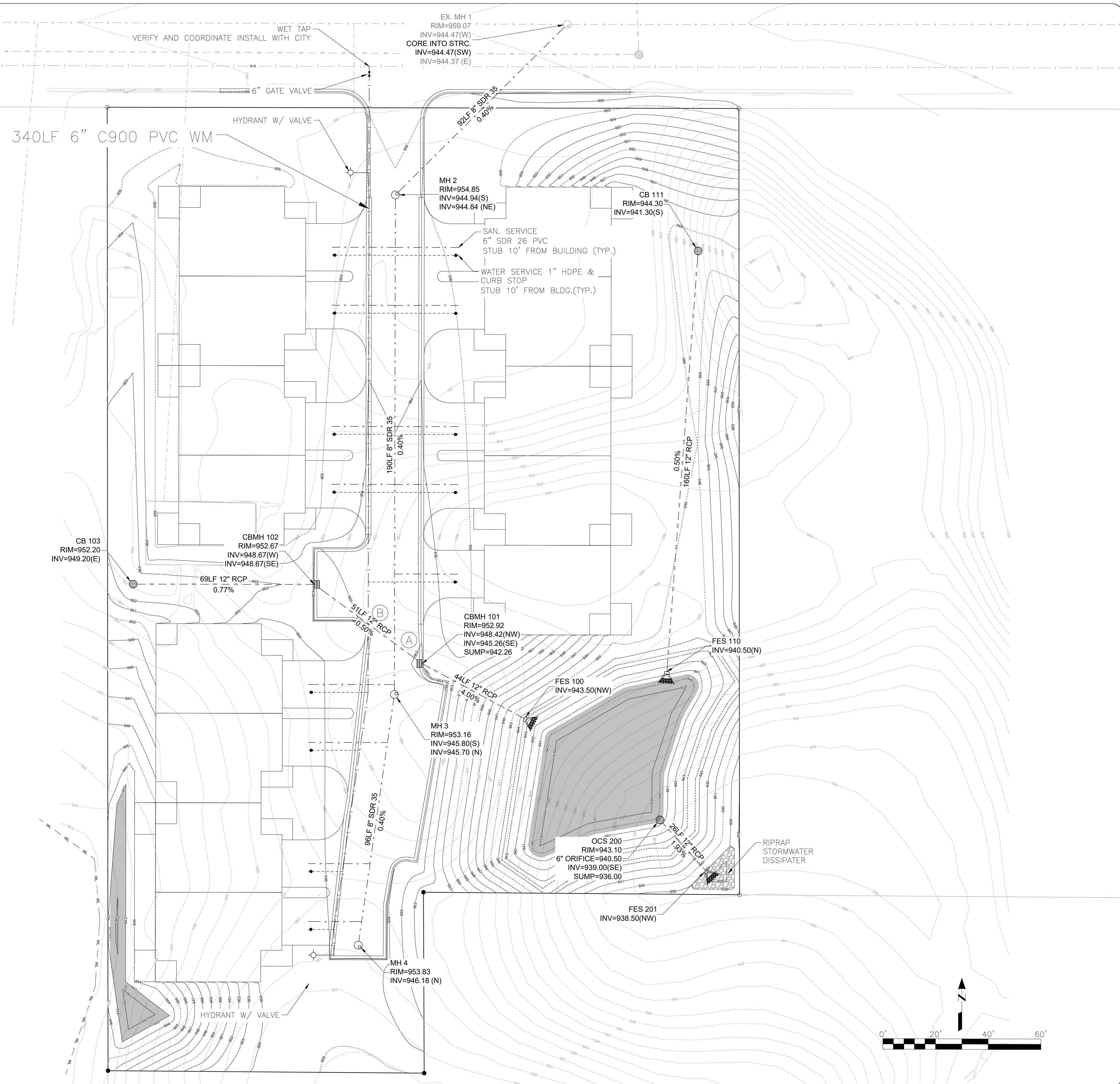
UTILITY NOTES:

1. CONTRACTOR TO VERIFY EXISTING INVERTS PRIOR TO CONSTRUCTION.
2. CONTRACTOR RESPONSIBLE TO COORDINATE OR PERFORM NECESSARY UTILITY CONNECTION OR EXISTING UTILITY RELOCATION ON THE SITE INCLUDING WATER, SANITARY, COMMUNICATIONS, GAS, ELECTRIC, ETC.
3. CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITY LINES PRIOR TO CONSTRUCTION.
4. ALL SITE UTILITIES MATERIALS AND INSTALLATION METHODS TO MEET STATE AND CITY REQUIREMENTS.



CROSSING SCHEDULE

A	SAN TOP	STRM BOT	COVER
	946.30	948.27	1.98
B	WM TOP	STRM INV	COVER
	945.25	948.34	3.09



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WEST ST PAUL, MN 55118

PROJECT
BUTLER AVE DEVELOPMENT

REVISION	N°	DATE
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PROJECT N°
E586

SITE
424 BUTLER AVE E
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CIVIL SHEET INDEX

SHEET	TITLE
C-1	REMOVALS & TREES
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C-5	SITE & LANDSCAPING
D-1	DETAILS
D-2	DETAILS
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DRAWING TITLE
UTILITIES

DRAWING N°
C-4

DRAWN BY
B. PASSOLT

CHECKED BY
L. ELLIOTT

DATE 12/17/25	PAGE N° 4 OF 7
SCALE 1" = 20'	REV. -
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LEGEND

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○	POWER POLE	---	WATERSMAN
○	UTILITY PEDESTAL	---	SANITARY SEWER
○	TRANSFORMER	---	STORM SEWER
○	EXISTING TREE	---	OVERHEAD UTILITY LINE
○	CATCH BASIN	---	UNDERGROUND ELECTRIC
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ZONING INFO.

R-3 TOWNHOUSE
 SETBACKS
 FRONT: 30'
 SIDE: 10'
 REAR: 30'

PARKING

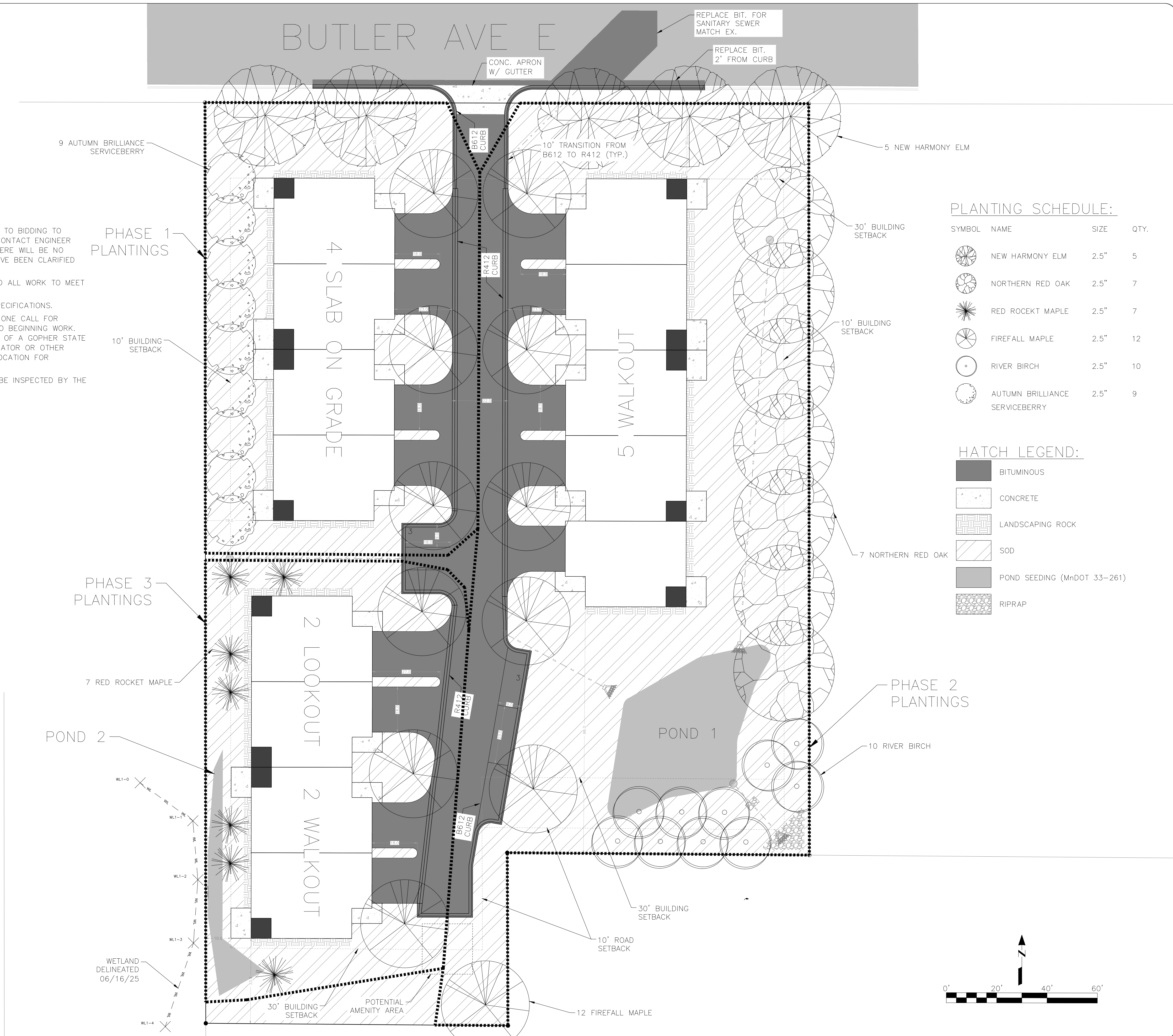
TOTAL: 6 STALLS

BIT. SECTION

- 2" WEAR COURSE (SPWEA230C)
- 2" NON-WEAR COURSE (SPWEA230C)
- 8" CL 5 AGGREGATE

CONC. SECTION

- 8" CONCRETE
- 6" CL 5 AGGREGATE



PLANTING SCHEDULE:

SYMBOL	NAME	SIZE	QTY.
○	NEW HARMONY ELM	2.5"	5
○	NORTHERN RED OAK	2.5"	7
○	RED ROCKET MAPLE	2.5"	7
○	FIREFALL MAPLE	2.5"	12
○	RIVER BIRCH	2.5"	10
○	AUTUMN BRILLIANCE SERVICEBERRY	2.5"	9

HATCH LEGEND:

■	BITUMINOUS
■	CONCRETE
■	LANDSCAPING ROCK
■	SOD
■	POND SEEDING (MnDOT 33-261)
■	RIPRAP



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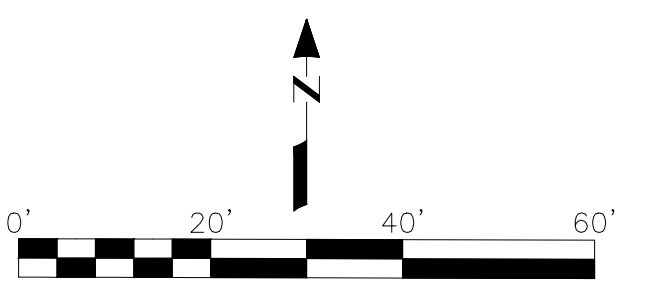
DRAWING TITLE
 SITE & LANDSCAPING

DRAWING N°
 C-5

DRAWN BY
 B. PASSOLT

CHECKED BY
 L. ELLIOTT

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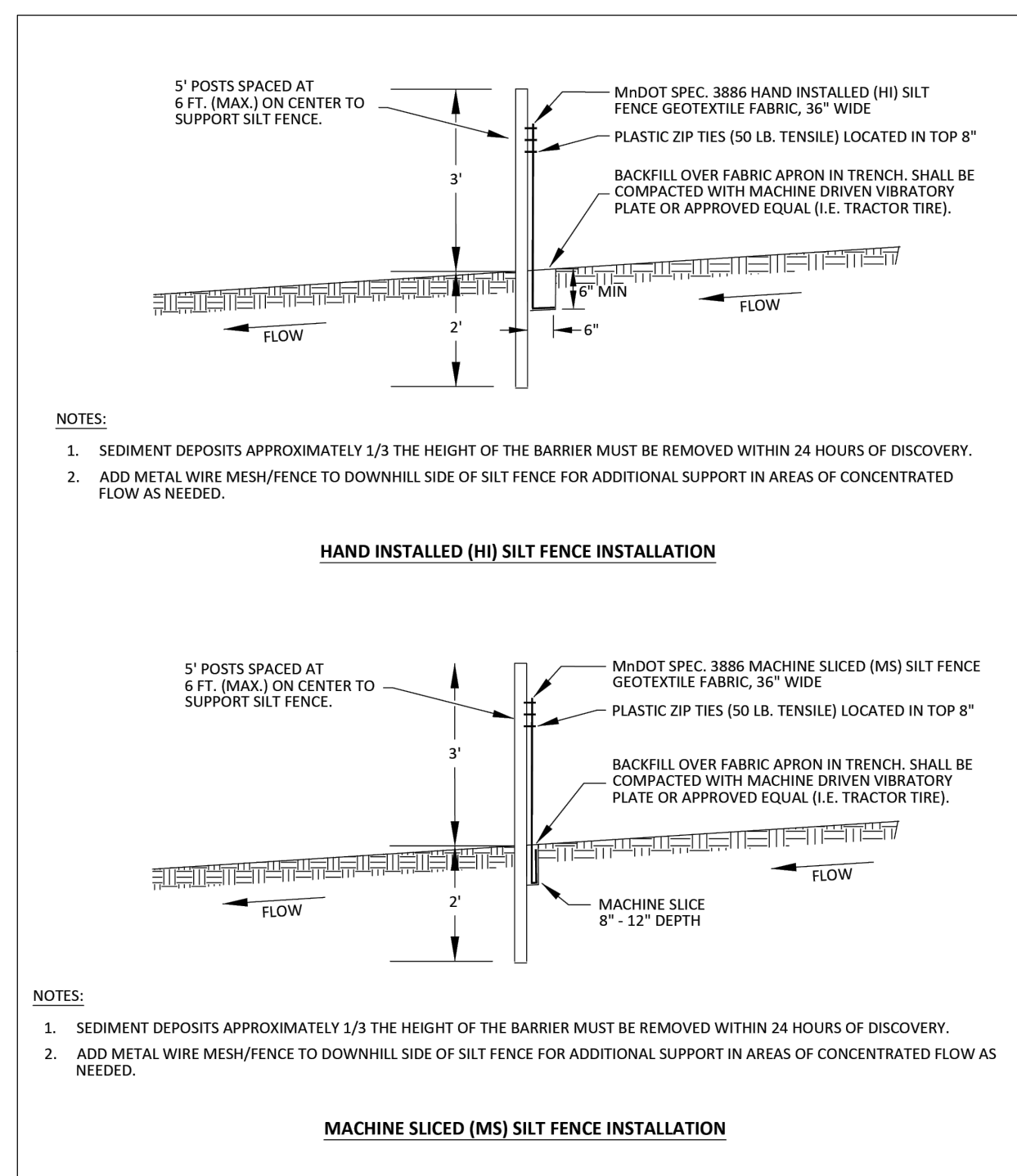
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DETAILS

DRAWING N°
D-1

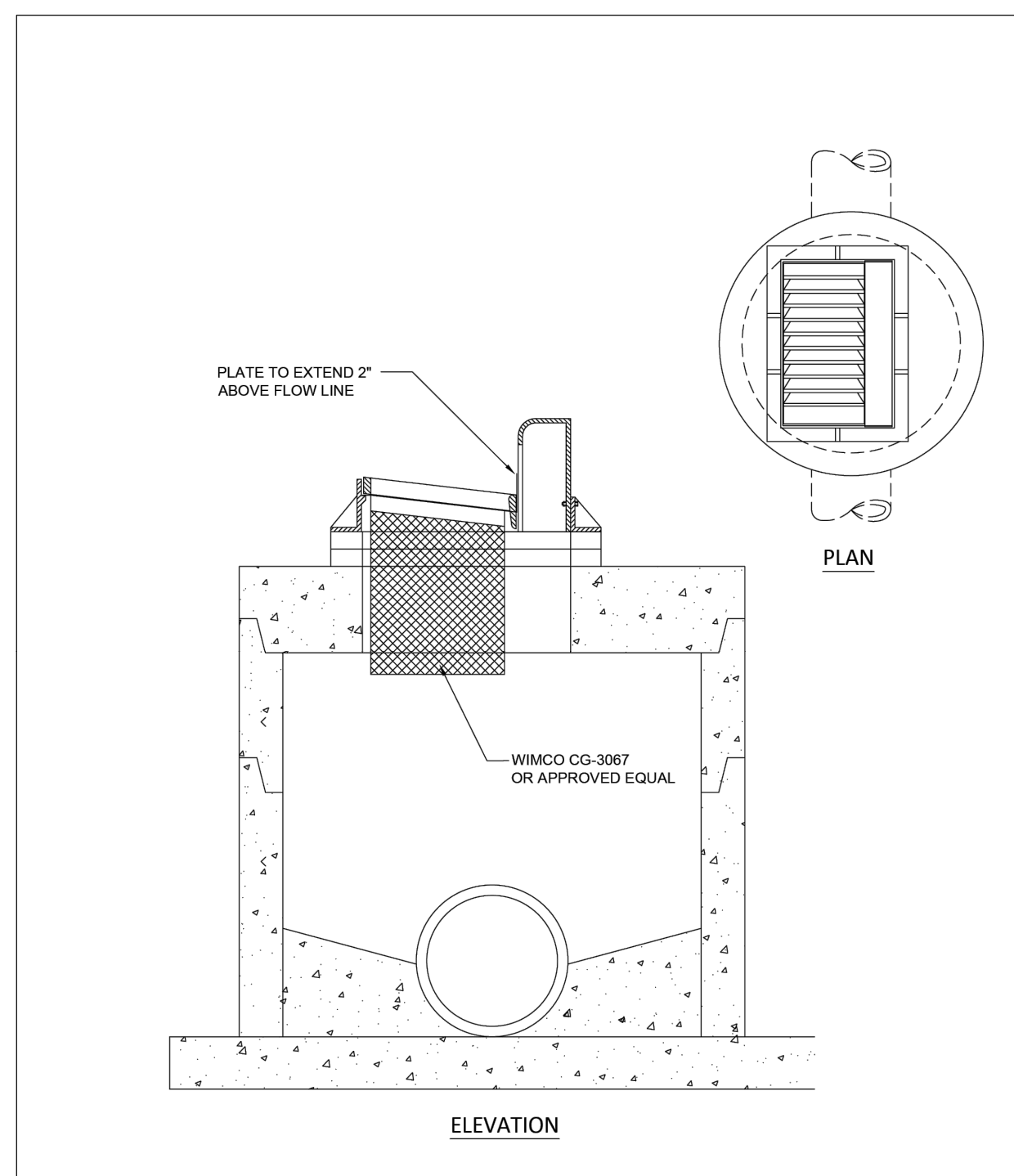
DRAWN BY
B. PASSOLT

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L. ELLIOTT

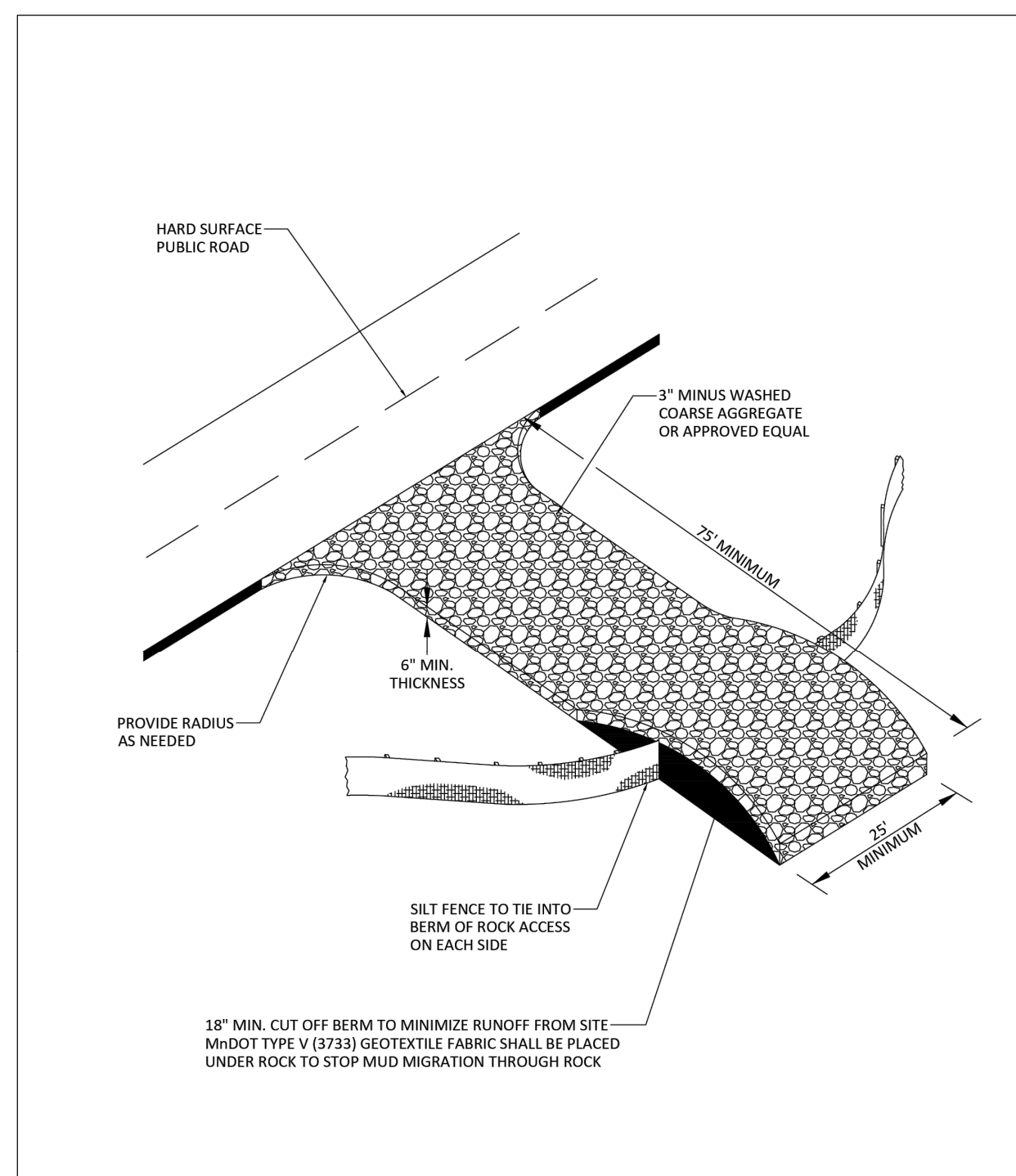
DATE 12/17/25	PAGE N° 6 OF 7
SCALE 1" = 20'	REV. -
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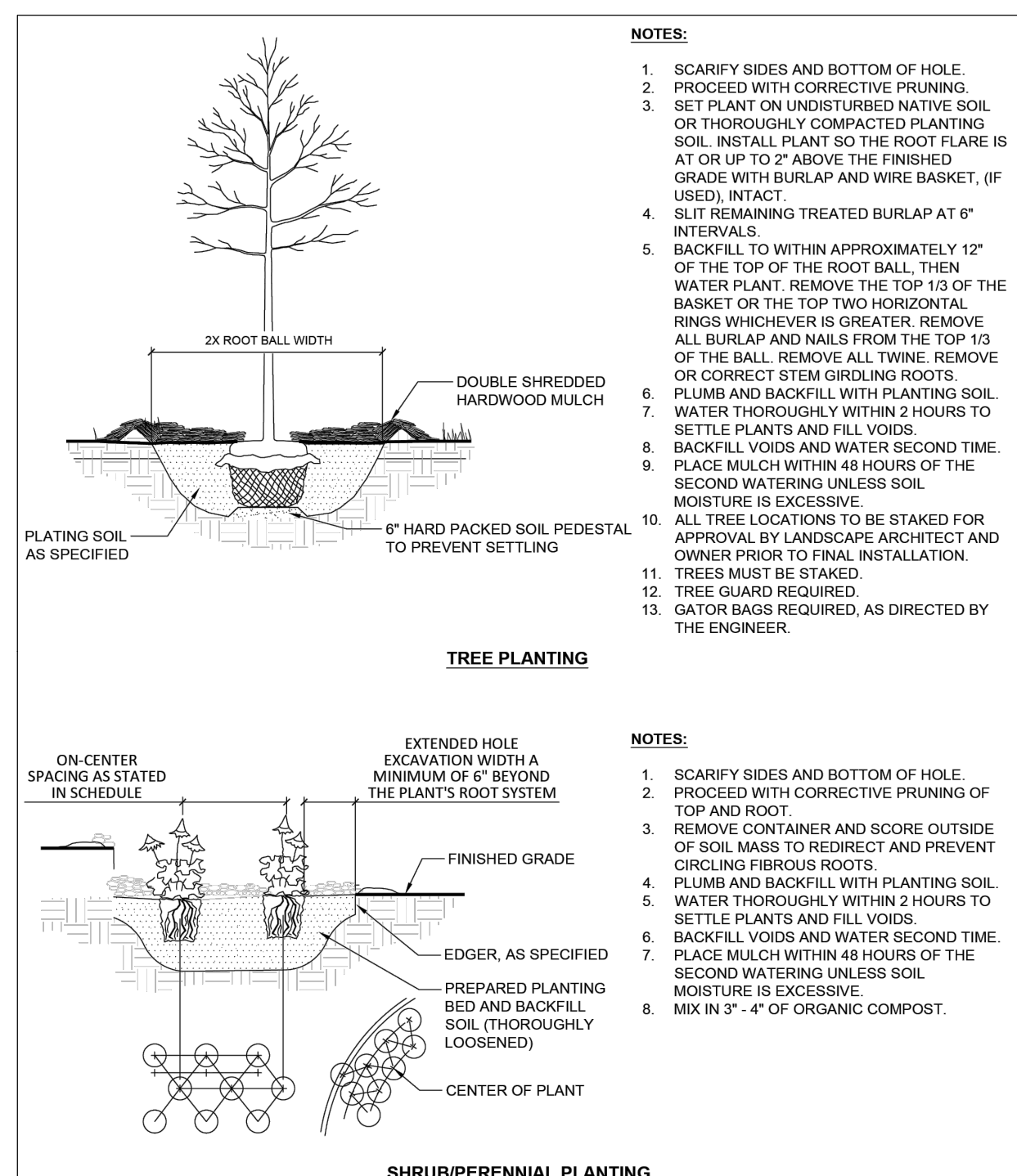
CITY OF WEST ST. PAUL
SILT FENCE INSTALLATION
PLATE NO.
ERO-01
REVISED 01/25



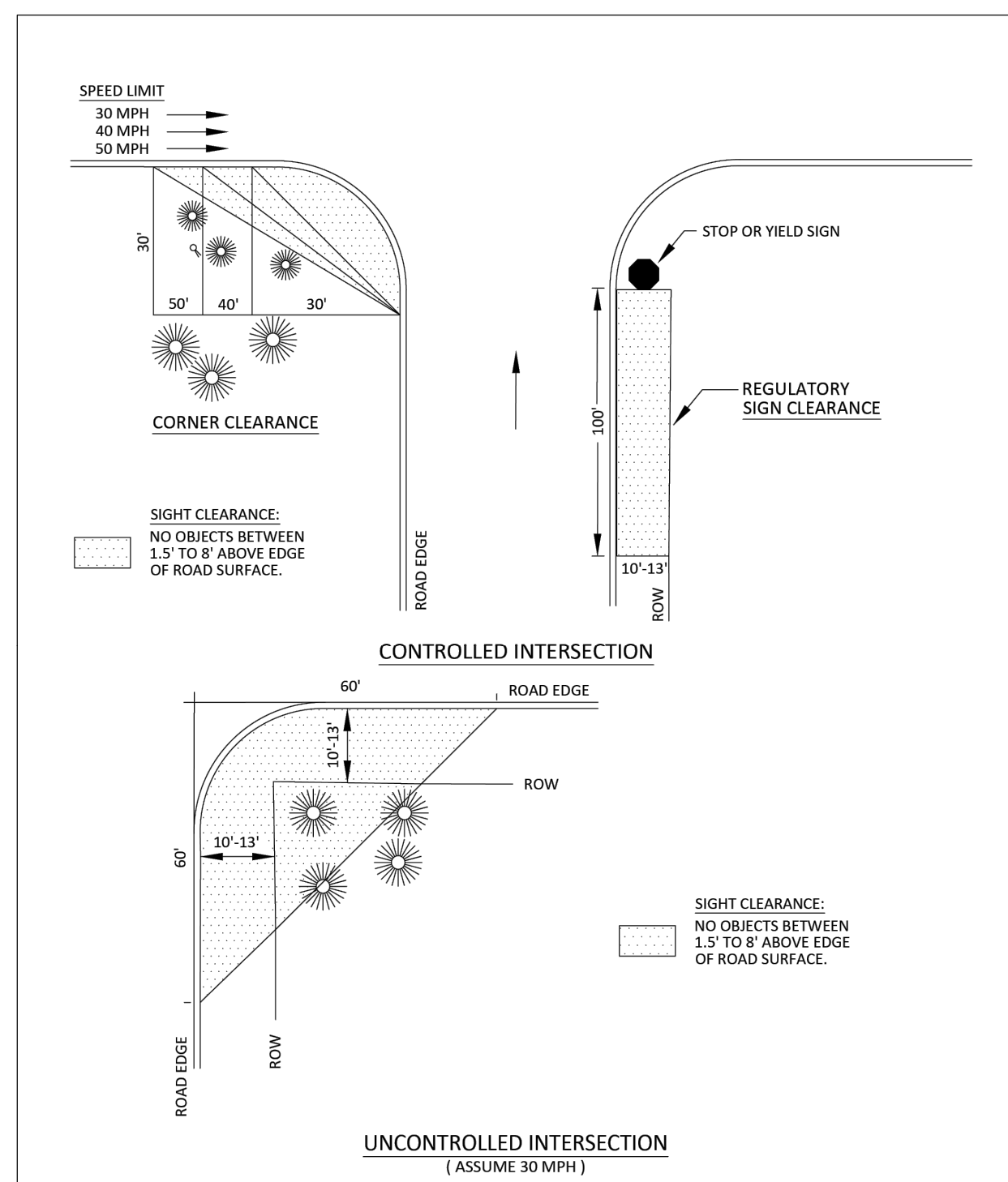
CITY OF WEST ST. PAUL
STORM DRAIN INLET PROTECTION
PLATE NO.
ERO-02
REVISED 01/25



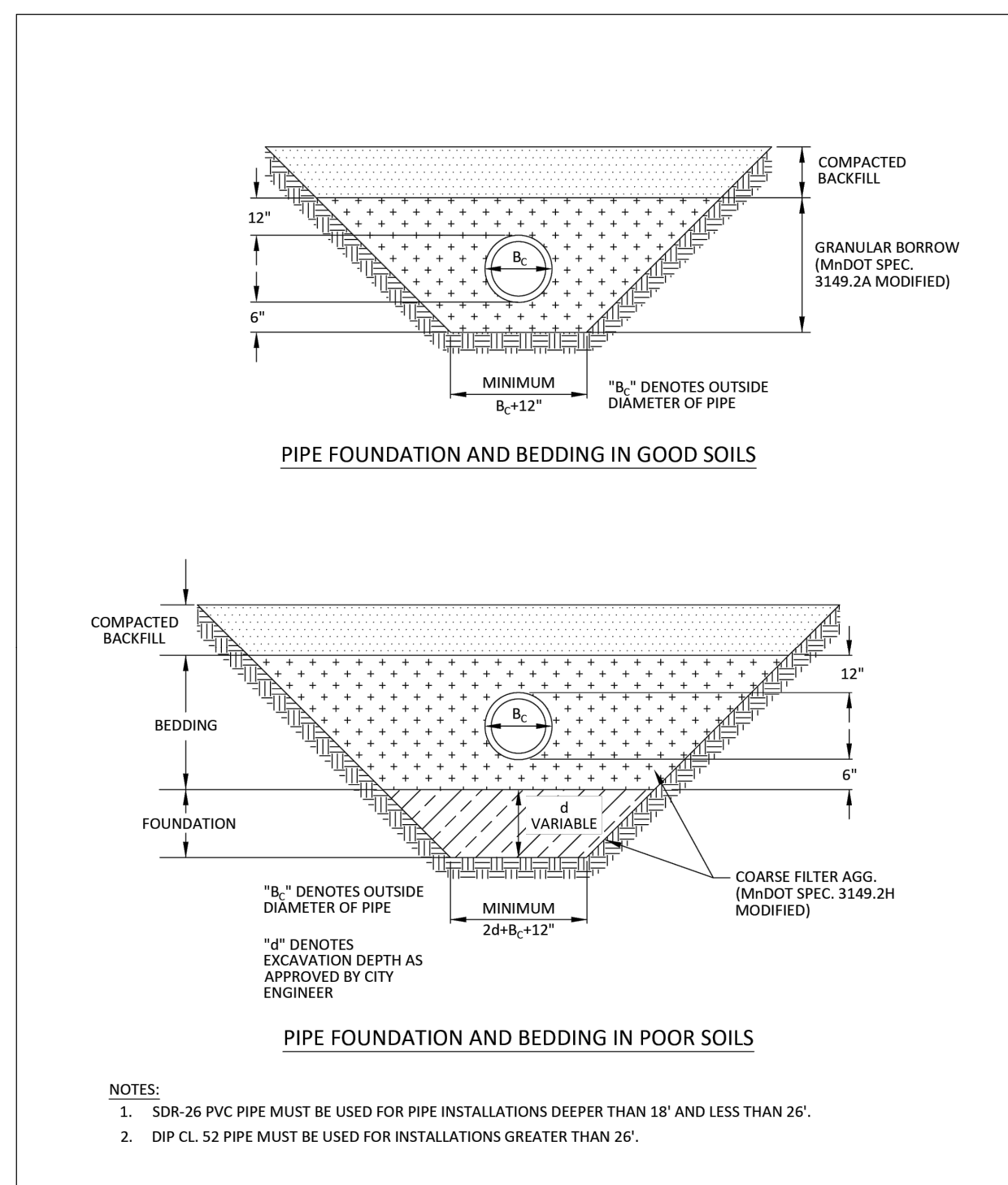
CITY OF WEST ST. PAUL
ROCK CONSTRUCTION ENTRANCE
PLATE NO.
ERO-03
REVISED 01/25



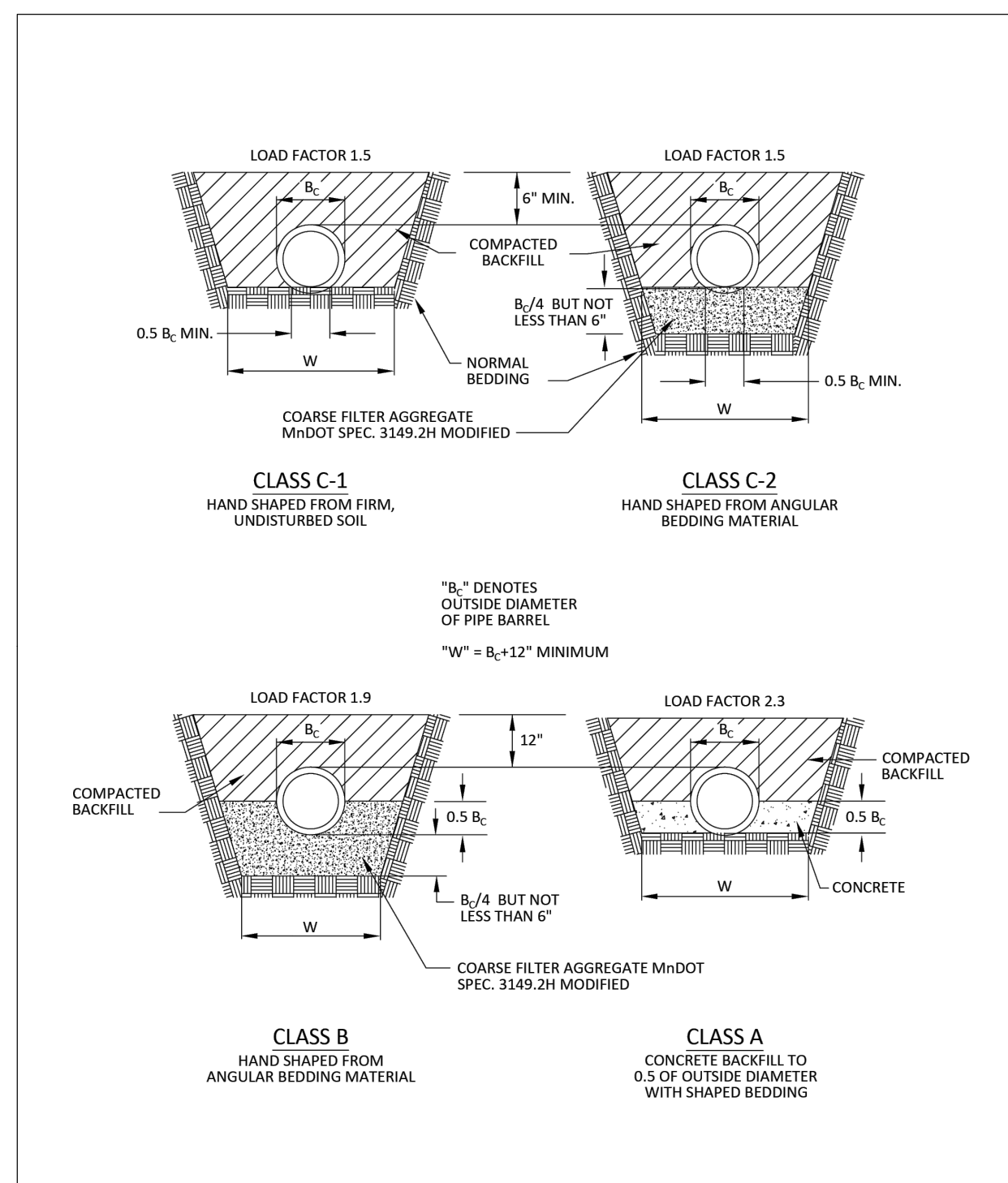
CITY OF WEST ST. PAUL
TREE PLANTING & SHRUB/PERENNIAL PLANTING
PLATE NO.
MISC-02
REVISED 01/25



CITY OF WEST ST. PAUL
BOULEVARD SIGHT CLEARANCE
PLATE NO.
MISC-03
REVISED 01/25



CITY OF WEST ST. PAUL
PIPE BEDDING FOR PVC PIPE
PLATE NO.
MISC-04
REVISED 01/25



CITY OF WEST ST. PAUL
PIPE BEDDING FOR RCP & DIP PIPE
PLATE NO.
MISC-05
REVISED 01/25



7514 OLIVER AVE S
MINNEAPOLIS, MN 55423
BUS (612) 220-0152
EMAIL: INFO@ELLIOTTDESIGNBUILD.COM

CLIENT
CITY OF WEST ST PAUL
1616 HUMBOLDT AVE. WEST
WEST ST PAUL, MN 55118

PROJECT
BUTLER AVE DEVELOPMENT

REVISION	N ^o	DATE
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT N^o
E586

SITE
424 BUTLER AVE E
WEST ST PAUL, MN 55118

PRELIMINARY
NOT FOR
CONSTRUCTION

CIVIL SHEET INDEX

SHEET	TITLE
C-1	REMOVALS & TREES
C-2	PRELIM GRADING & ERSN CTRL
C-3	FINAL GRADING & ERSN CTRL
C-4	UTILITIES
C-5	SITE & LANDSCAPING
D-1	DETAILS
D-2	DETAILS
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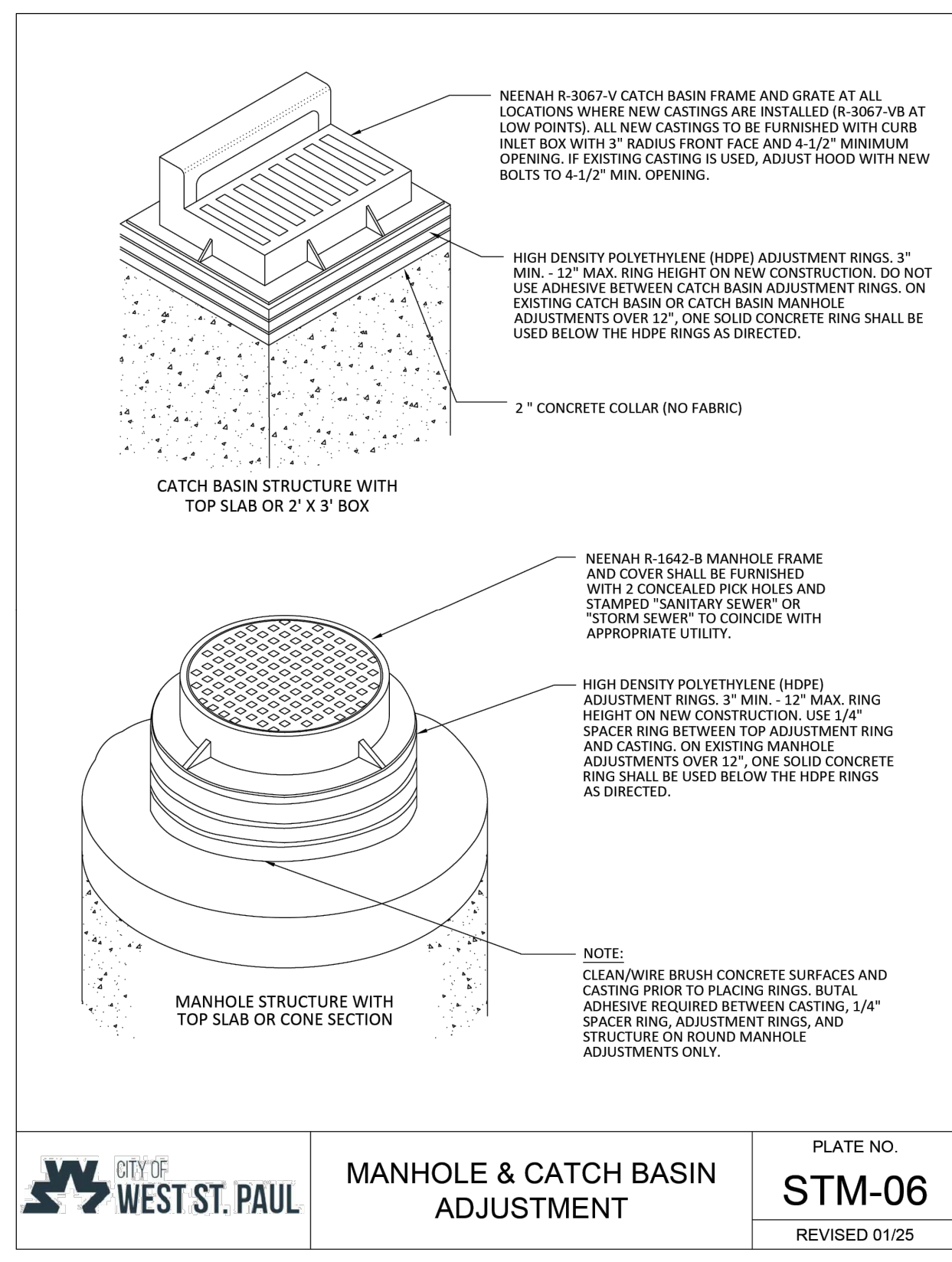
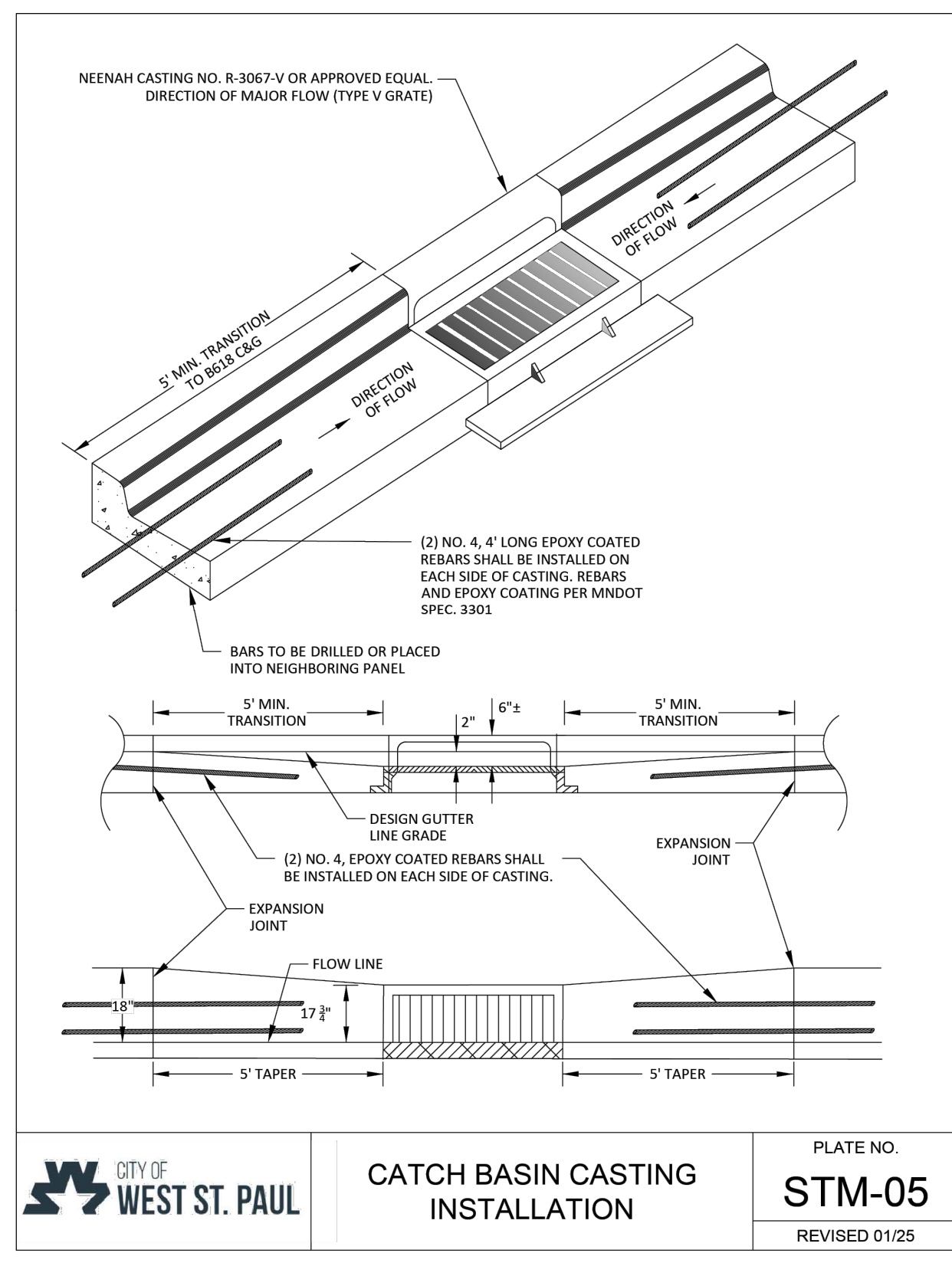
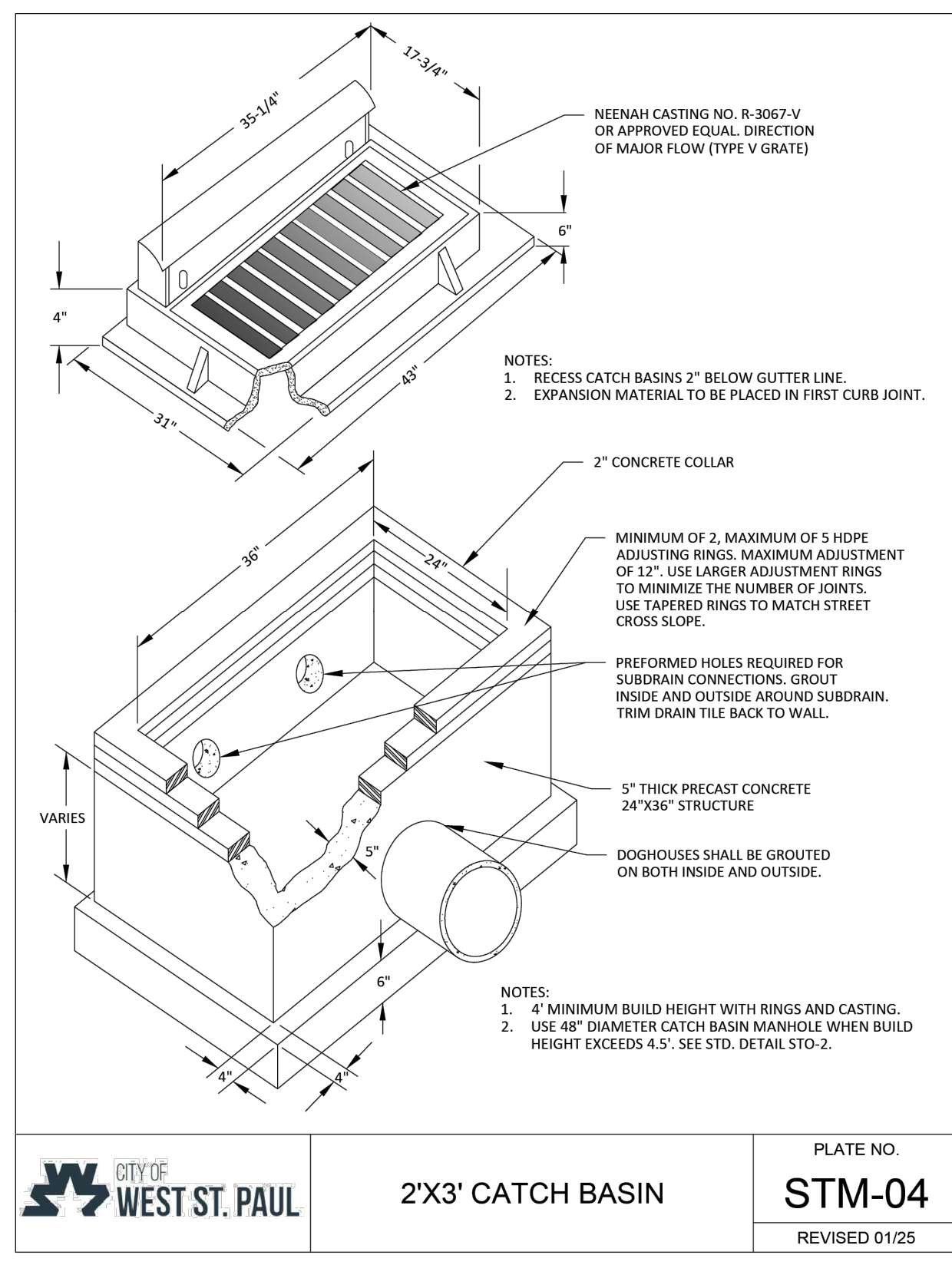
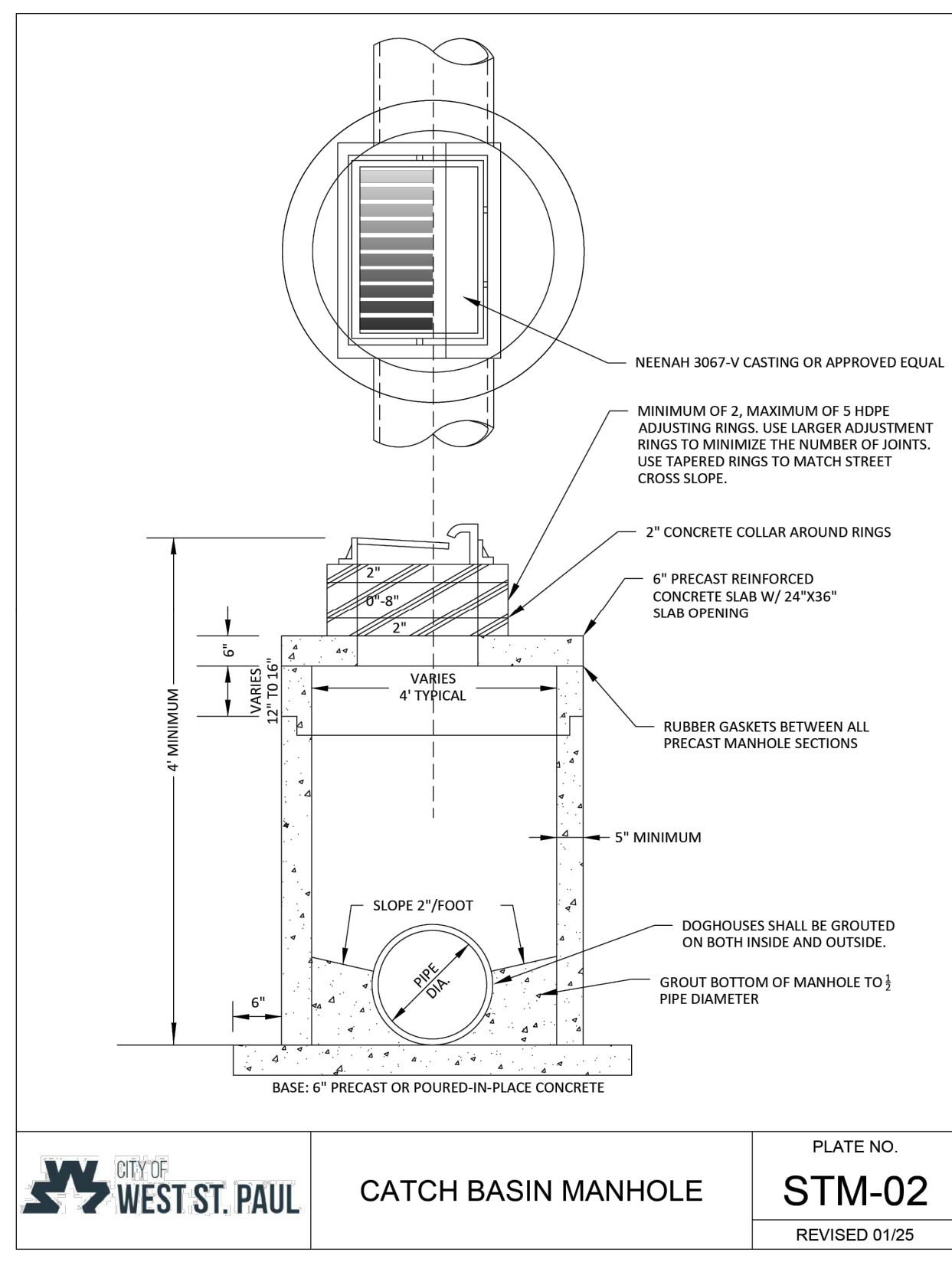
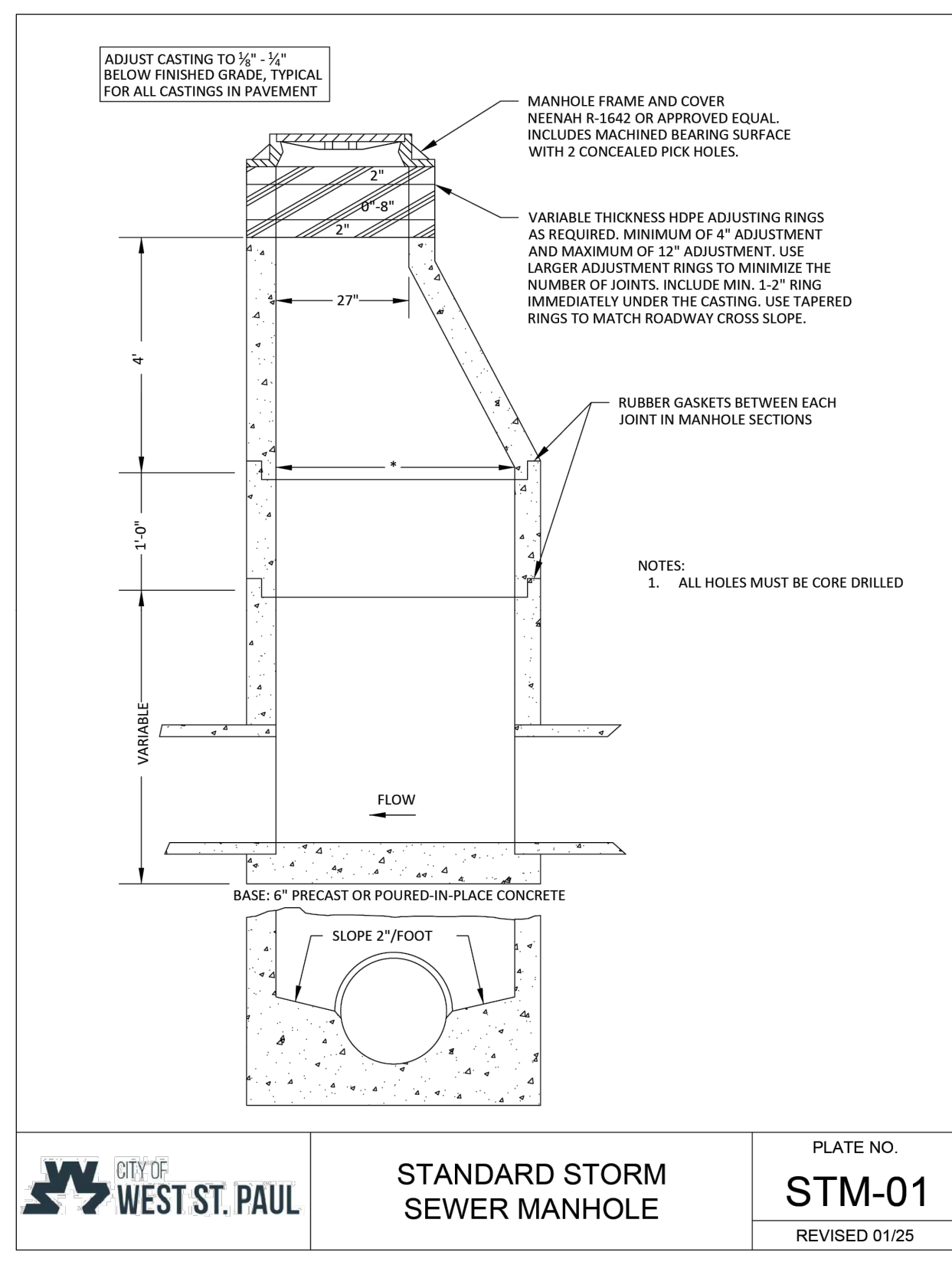
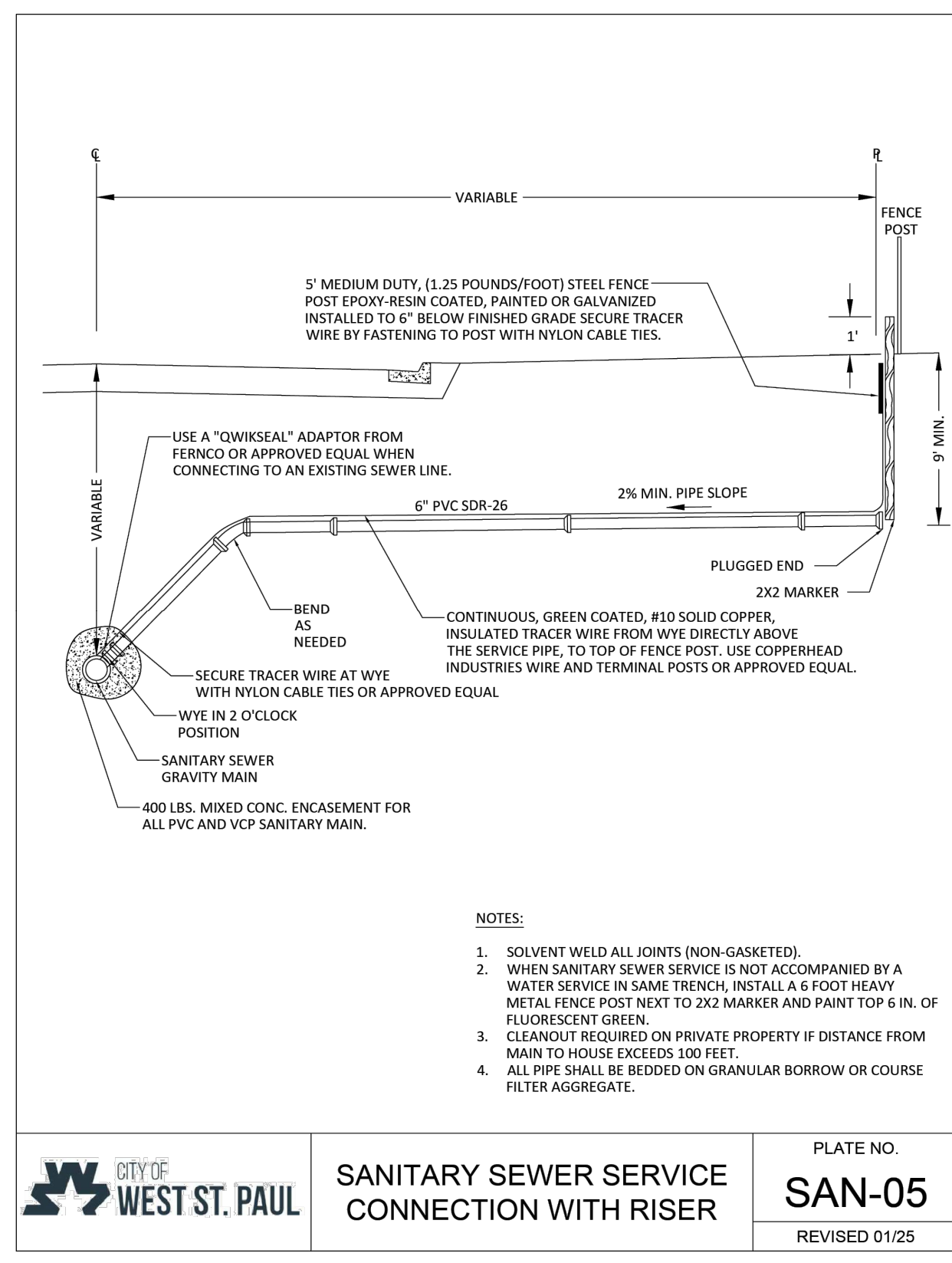
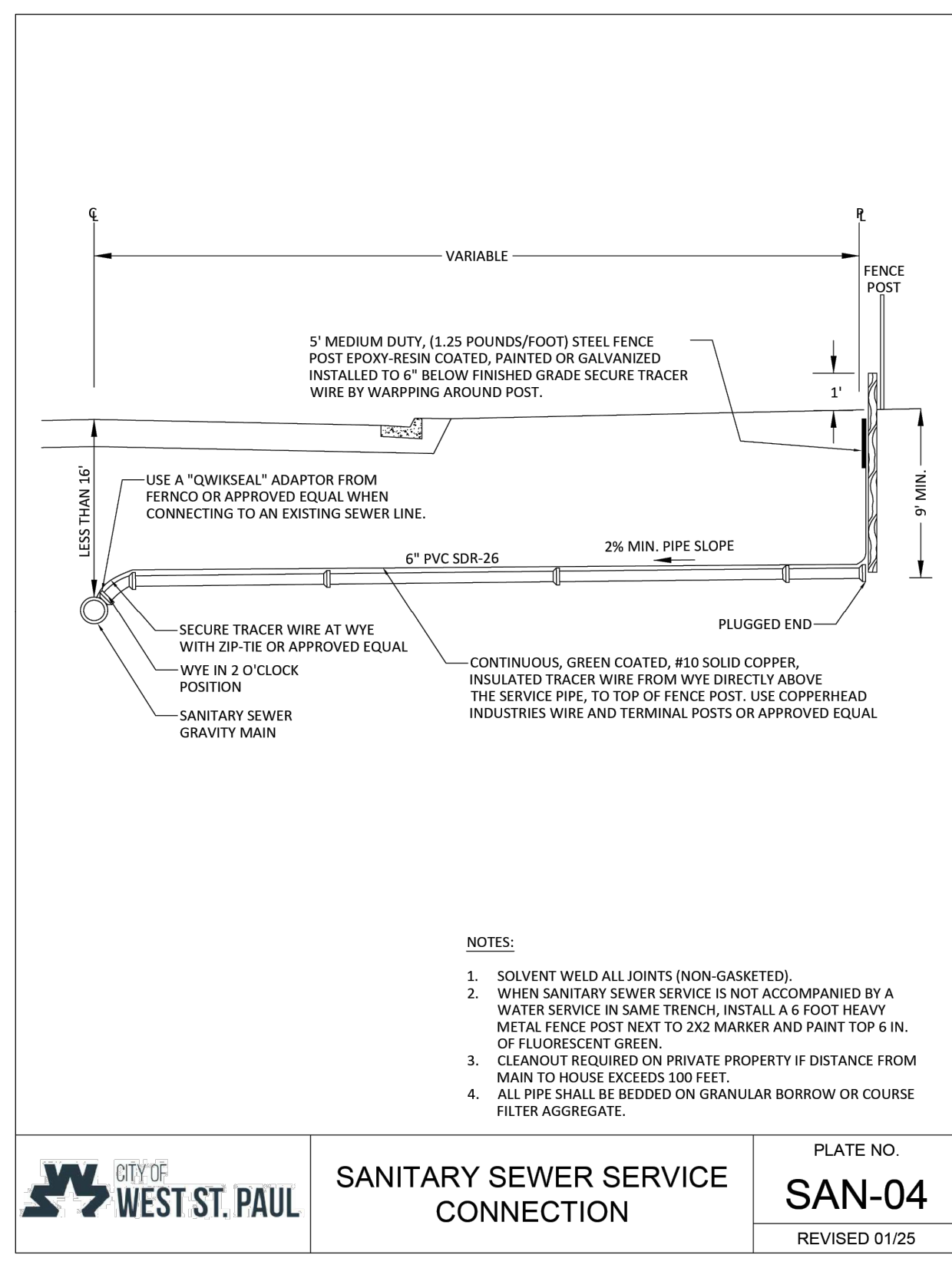
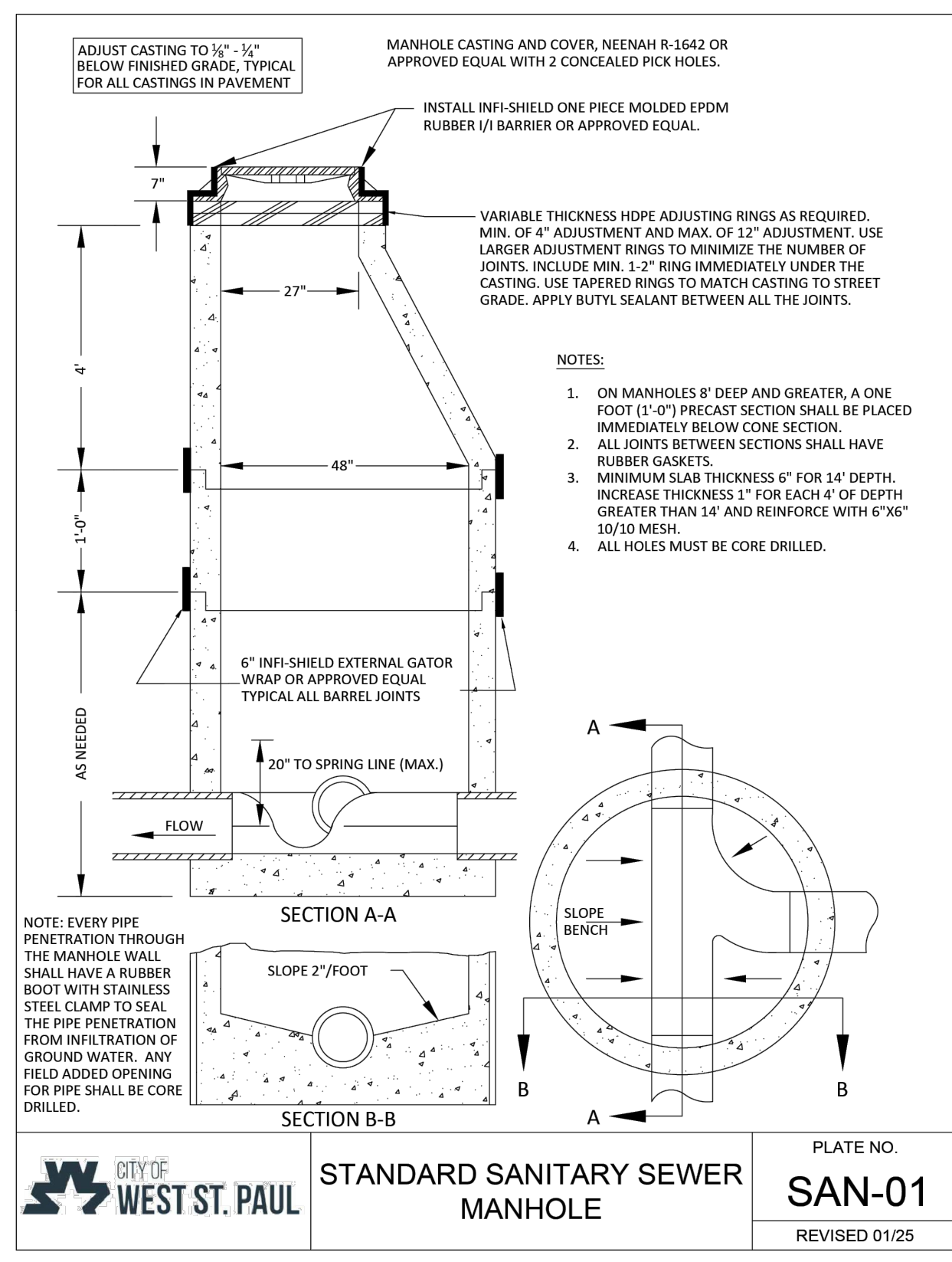
DRAWING TITLE
DETAILS

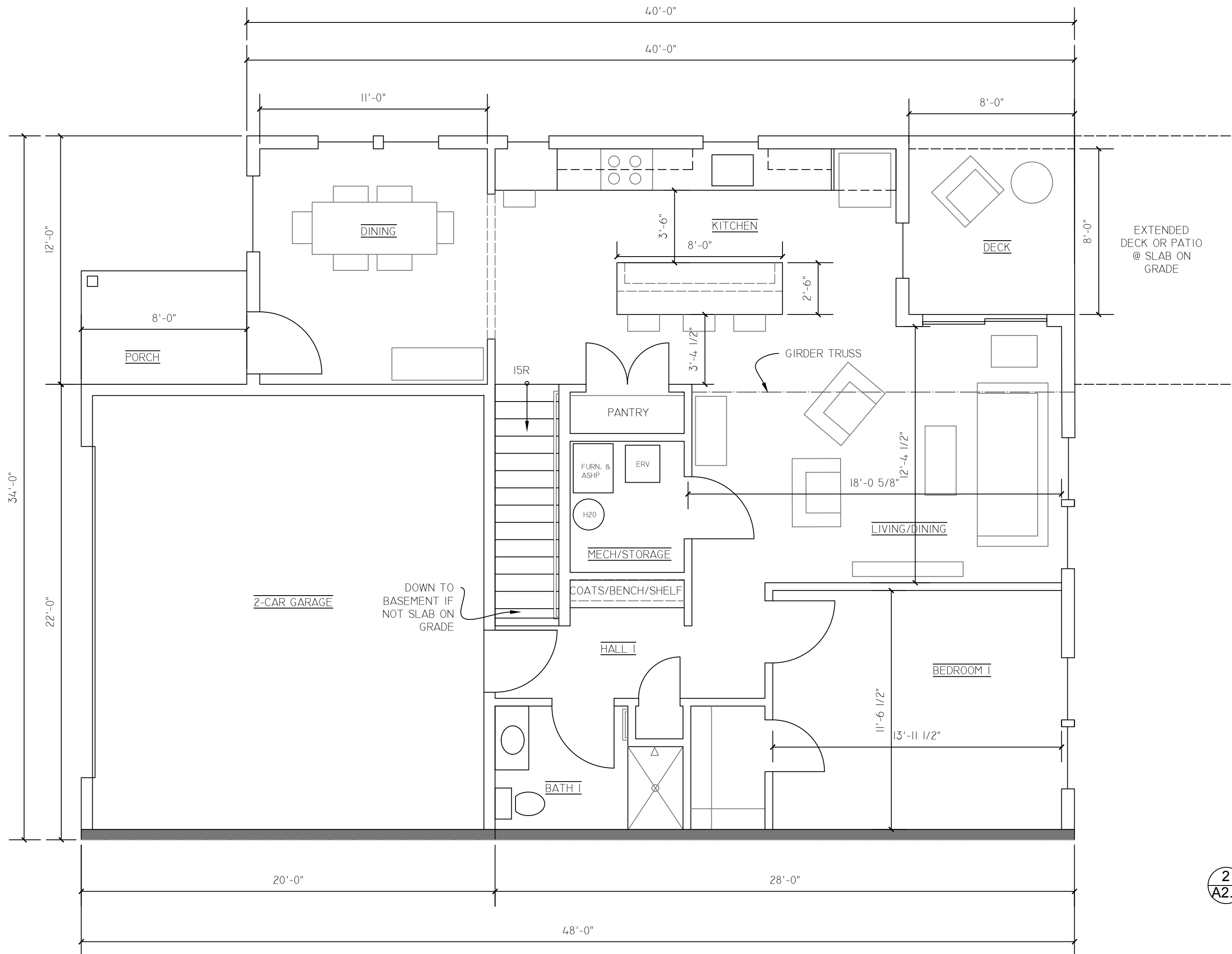
DRAWING N^o
D-2

DRAWN BY
B. PASSOLT

CHECKED BY
L. ELLIOTT

DATE 12/17/25	PAGE N ^o . 7 OF 7
SCALE 1" = 20'	REV. -
	SIZE 22"X34"





1 MAIN FLOOR UNIT PLAN OPTION - 34' WIDE x 48' LONG UNIT - 1,650 SF (ADDITIONAL 950 SF IF BASEMENT)
A2.2 SCALE 1/4" = 1'-0"

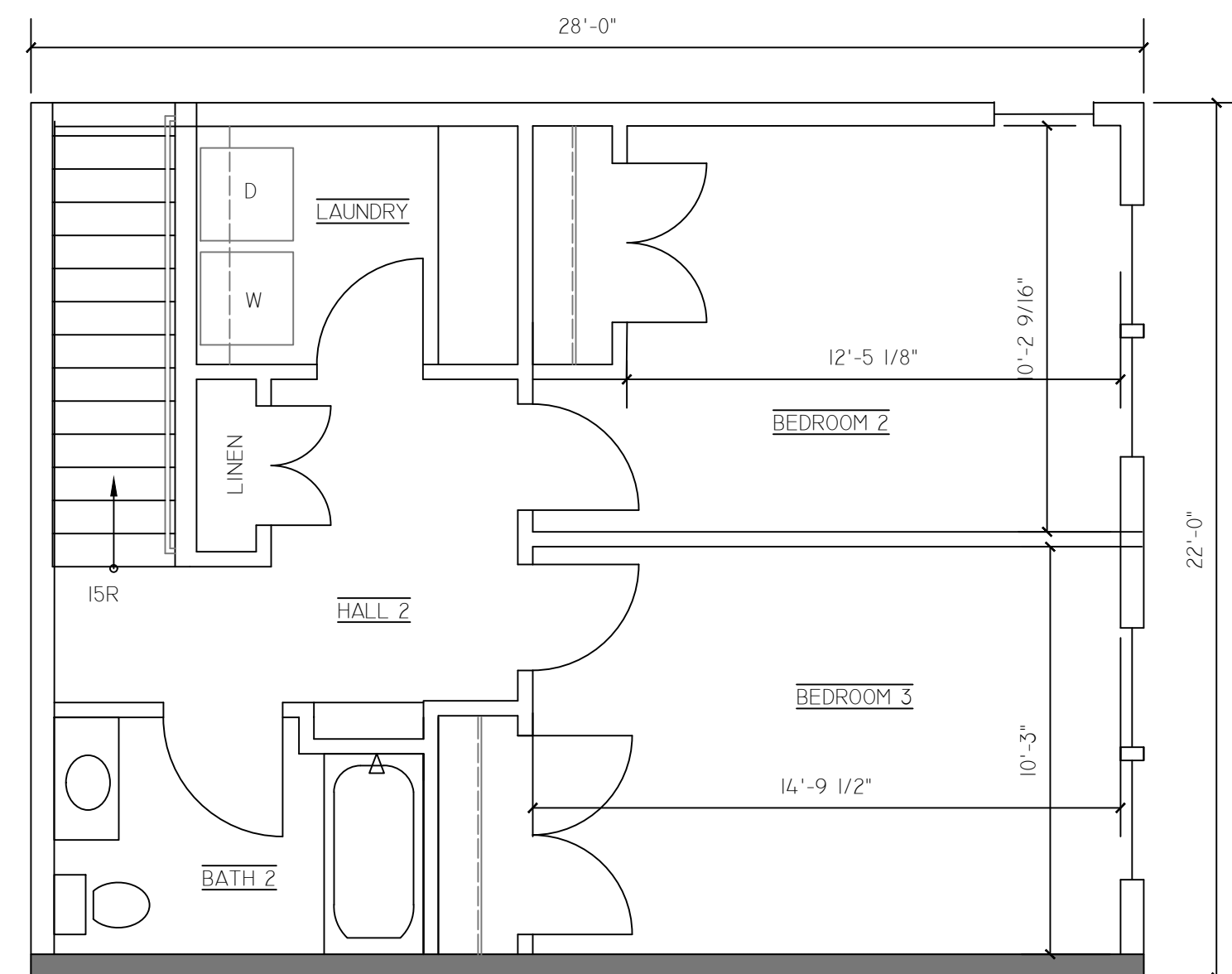
PRELIMINARY SPEC

EXTERIOR:
 LP SMARTSIDE, PREFINISHED (6" LAP WITH VERTICAL SIDING @ GABLES)
 ASPHALT SHINGLES
 U.27 VINYL WINDOWS, DOUBLE-HUNG
 *(CASEMENTS AS AN ALTERNATE)
 CONCRETE STOOPS AT FRONT, CONC. SLAB AT DECK IN BACK IF SLAB ON GRADE, COMPOSITE FLOOR DECK/RAIL (8'x8') IF WALK-OUT BASEMENTS W/ PERMEABLE PAVER PATIO BELOW

INTERIOR FINISHES:
 MDF CABINET BOXES, UPGRADE TO PLYWOOD AT SINK BASES AND VANITIES
 PLASTIC LAMINATE COUNTERTOP, CULTURED MARBLE VANITY TOPS
 LVP FLOORING THROUGHOUT EXCEPT AT STAIRS (FLOOR SCORE RATED)
 CARPETED STAIRS TO SECOND FLOOR (GREEN GUARD)
 BASEMENT UNFINISHED IF NOT SLAB ON GRADE
 LED LIGHT FIXTURES THROUGHOUT

EQUIPMENT:
 95-96% EFFICIENT FURNACE,
 15.2 SEER AC UNIT (OR HEAT PUMP FOR COOLING + SHOULDER SEASON HEATING)
 ERV WHOLE HOUSE VENTILATION SYSTEM
 BATH FANS, KITCHEN FAN EXHAUSTED TO EXTERIOR
 NFPA 13D SPRINKLER SYSTEM AT EACH UNIT
 ALL LOW-FLOOR, WATER SENSE FIXTURES
 ENERGY STAR RATED APPLIANCES

SEPARATE WATER AND SEWER TO EACH UNIT
 2-HR SEPARATION BETWEEN UNITS (COULD BE 2 SEPARATE 1-HR WALLS), STRUCTURALLY SEPARATED
 MINNESOTA GREEN COMMUNITIES OVERLAY 2023-24, ENERGY STAR RATED HOMES - THIRD PARTY ENERGY RATER VERIFIED

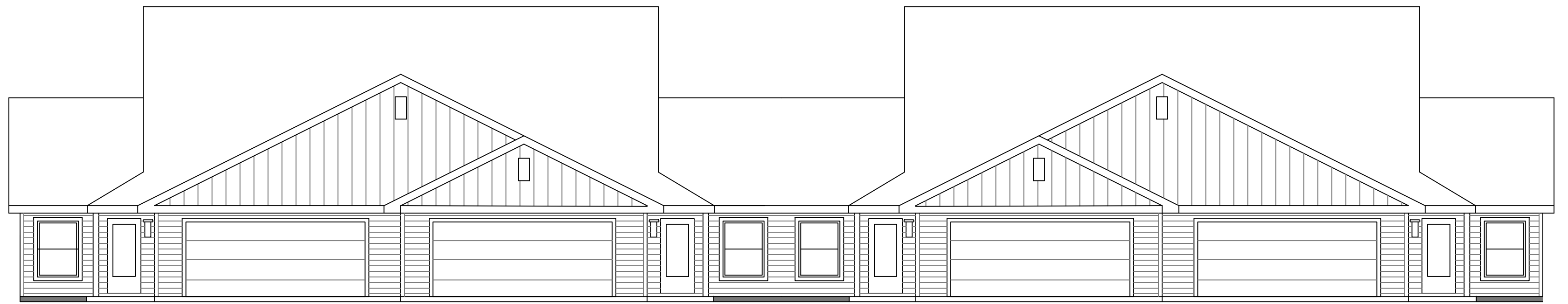


2 SECOND FLOOR UNIT PLAN
A2.2 SCALE 1/4" = 1'-0"

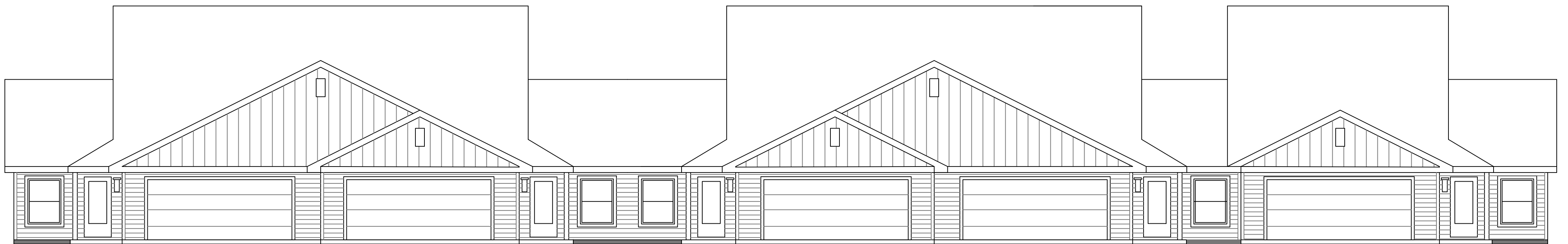
3 BASEMENT PLAN NOT SHOWN, NOT INCLUDED AT ALL UNITS - UNFINISHED
A2.2 SCALE 1/4" = 1'-0"

MARNIE PEICHEL ARCHITECTURE AND DESIGN, LLC

PHASE SD	DRAWING NO.
DATE: 12/01/25	A2.1



1 FRONT ELEVATION - 4-UNIT BUILDINGS - 424 BUTLER AVE., WEST ST. PAUL
 A3.1 SCALE 1/8" = 1'-0"



2 FRONT ELEVATION - 5-UNIT BUILDING - 424 BUTLER AVE., WEST ST. PAUL
 A3.1 SCALE 1/8" = 1'-0"



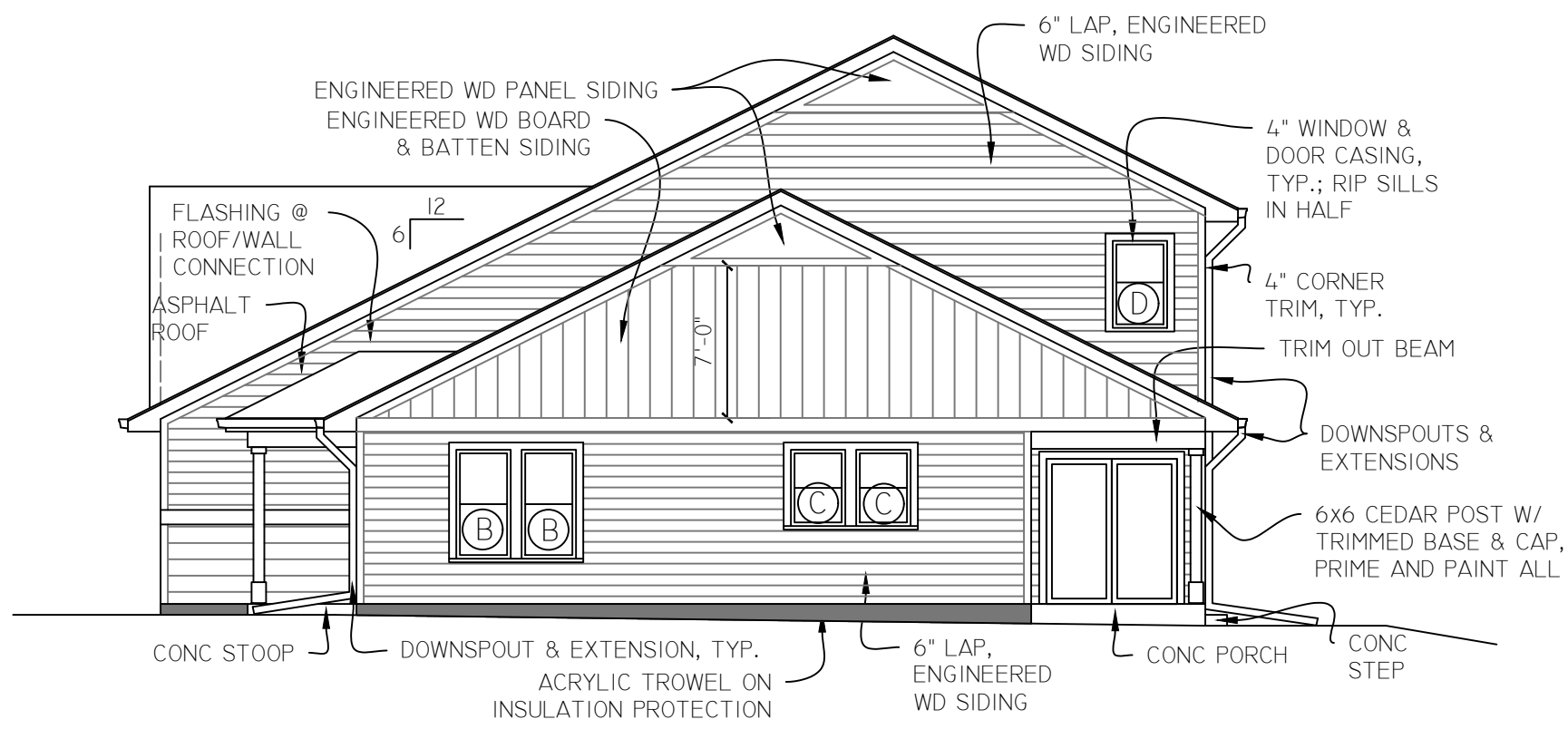
3 SIDE ELEVATION - AT WALK OUT BUILDINGS - 424 BUTLER AVE., WEST ST. PAUL
 A3.1 SCALE 1/8" = 1'-0"

PRELIMINARY SPEC

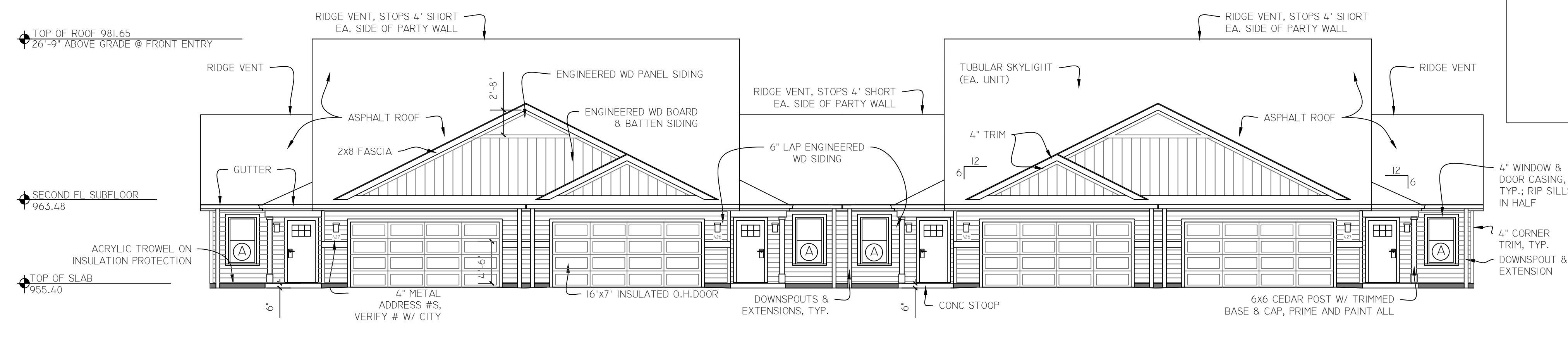
EXTERIOR:
 LP SMARTSIDE, PREFINISHED (6" LAP WITH VERTICAL SIDING @ GABLES)
 ASPHALT SHINGLES
 U.27 VINYL WINDOWS, DOUBLE-HUNG
 *(CASEMENTS AS AN ALTERNATE)
 CONCRETE STOOPS AT FRONT, CONC. SLAB AT DECK IN BACK IF SLAB ON GRADE, COMPOSITE FLOOR DECK/RAIL (8'x8') IF WALK-OUT
 BASEMENTS W/ PERMEABLE PAVER PATIO BELOW

MARNIE PEICHEL ARCHITECTURE AND DESIGN, LLC

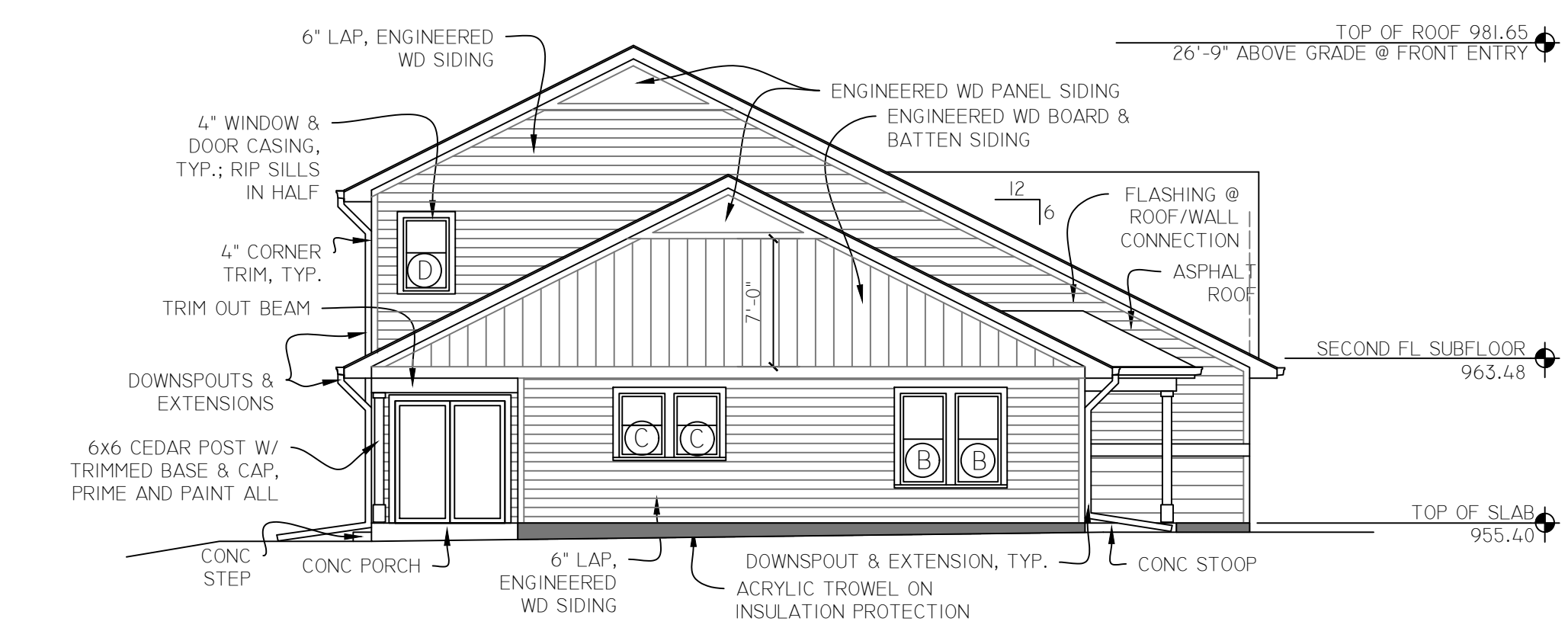
PHASE SD	DRAWING NO. A3.1
DATE: 12/01/25	



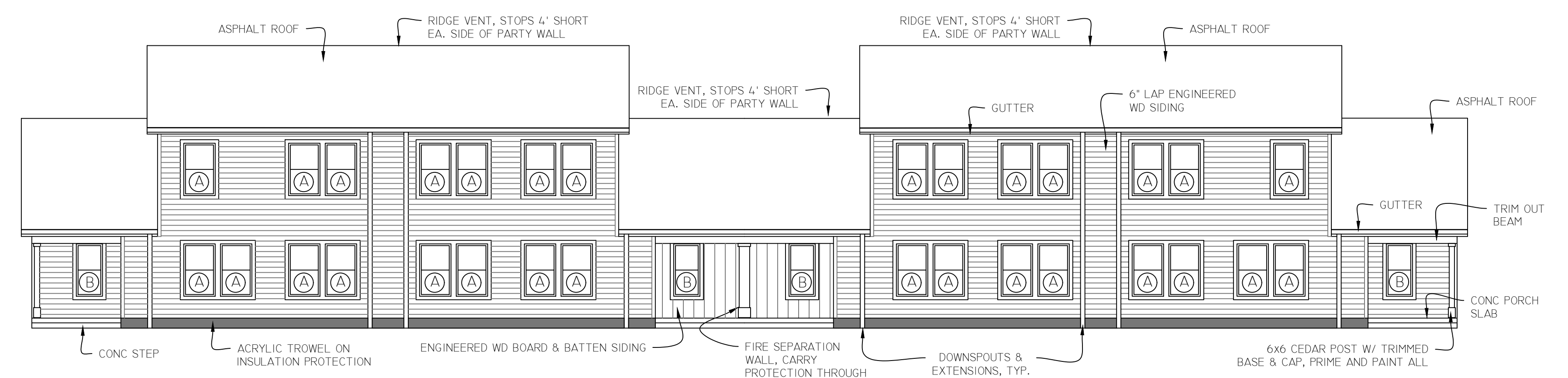
2 BUILDING 'A' - NORTH ELEVATION
 A3.1 SCALE 1/8" = 1'-0"



1 BUILDING 'A' - EAST ELEVATION
 A3.1 SCALE 1/8" = 1'-0"



4 BUILDING 'A' - SOUTH ELEVATION
 A3.1 SCALE 1/8" = 1'-0"



3 BUILDING 'A' - WEST ELEVATION
 A3.1 SCALE 1/8" = 1'-0"

WINDOW SCHEDULE			
	TYPE	SIZE	COMMENTS
(A)	SINGLE HUNG	3050 (36"x60")	EGRESS @ ALL BEDROOM LOCATIONS
(B)	SINGLE HUNG	2650 (30"x60")	
(C)	SINGLE HUNG	2636 (39"x42")	
(D)	SINGLE HUNG	2640 (30"x48")	

GENERAL NOTES:
 1. WINDOWS: VINYL WINDOWS. DUAL PANE, LOW-E, ARGON GAS. U VALUE = .27 = TO OR BETTER. COLOR TO BE WHITE OR TAN. (VECTOR ENVISION WINDOWS OR APPROVED EQUAL.)
 2. ALL SINGLE HUNG WINDOWS TO INCLUDE FALL PROTECTION/SASH LIMITER HARDWARE.
 3. SHOP DRAWINGS SHALL BE PROVIDED FOR REVIEW. VERIFY ALL EXACT SIZES AND QUANTITIES.

DEVELOPER:
 CITY OF WEST ST. PAUL

CONSULTANTS:
 ARCHITECT:
 MARNIE PEICHEL ARCHITECTURE
 AND DESIGN, LLC
 marniepeichel@gmail.com
 612-810-4791
 STRUCTURAL ENGINEER:
 MATTSON MACDONALD YOUNG
 ISAAC BLIEK
 isaacB@mmyeng.com
 612-827-7825
 CIVIL ENGINEER:
 ELLIOTT DESIGN BUILD, INC

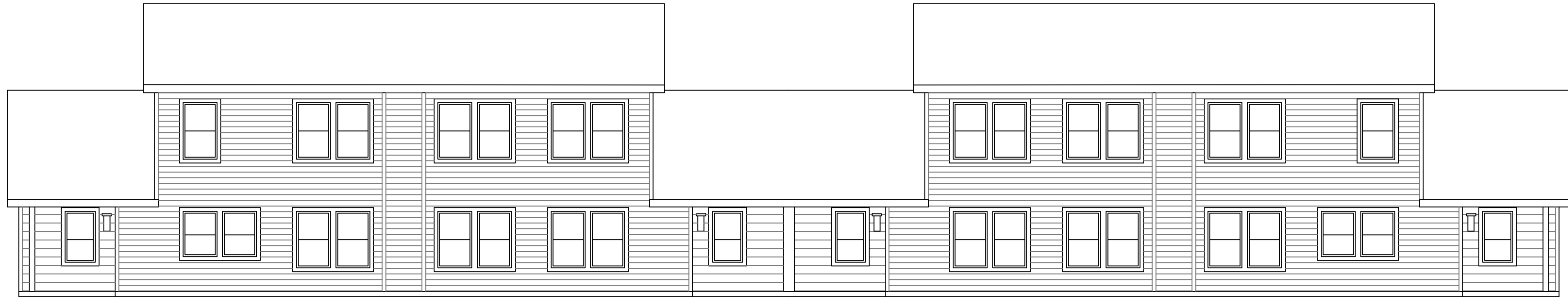
REGISTRATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MN.
 PRINT NAME: MARNIE PEICHEL
 SIGNATURE: _____
 DATE: _____
 LICENSE # 26662

REVISIONS		
#	REVISION TYPE	DATE

PROJECT TITLE/LOCATION
LONG-TERM AFFORDABLE TOWNHOMES
 424 BUTLER AVE. E.
 WEST ST. PAUL, MN

DRAWING TITLE
BUILDING 'A' - EXTERIOR ELEVATIONS

PHASE: CD DRAWING NO.
 DATE: 12/09/2025 **A3.1**



1 REAR ELEVATION - 4-UNIT, SLAB ON GRADE BUILDING - 424 BUTLER AVE., WEST ST. PAUL
 A3.2 SCALE 1/8" = 1'-0"



2 REAR ELEVATION - 4-UNIT, WALK-OUT BUILDING - 424 BUTLER AVE., WEST ST. PAUL
 A3.2 SCALE 1/8" = 1'-0"

PRELIMINARY SPEC

EXTERIOR:
 LP SMARTSIDE, PREFINISHED (6" LAP WITH
 VERTICAL SIDING @ GABLES)
 ASPHALT SHINGLES
 U-27 VINYL WINDOWS, DOUBLE-HUNG
 *(CASEMENTS AS AN ALTERNATE)
 CONCRETE STOOPS AT FRONT, CONC. SLAB AT
 DECK IN BACK IF SLAB ON GRADE, COMPOSITE
 FLOOR DECK/RAIL (8'x8') IF WALK-OUT
 BASEMENTS W/ PERMEABLE PAVER PATIO BELOW

MARNIE PEICHEL ARCHITECTURE AND
 DESIGN, LLC

PHASE SD	DRAWING NO. A3.2
DATE: 12/01/25	

Legal Description:

Per warranty deed Doc No. 3663890 (AS PROVIDED BY OWNER)
 All that tract of land described as Lots Seven (7), Eight (8), Nine (9), Ten (10), Twenty-one (21), Twenty-two (22), Twenty-three (23), and Twenty-four (24) in Block One (1), and Lots Seven (7), Eight (8), Nine (9), Ten (10), Twenty-one (21), Twenty-two (22), Twenty-three (23), and Twenty-four (24) in Block Three (3), all in Summit Park Addition to South St. Paul, Dakota County, Minnesota, according to the plat thereof on file and of record in the Office of the Register of Deeds of said County, and those parts of vacated alleys and vacated Conver Ave. lying between North and South extensions of the East and West lines of said lots, except the South 225 feet of said tract.

AND

Lots Eleven (11), Twelve (12), Nineteen (19) and Twenty (20), in Block One (1) and the North 37.14 feet of Lots 11 and 12, in Block 3, of Summit Park Addition to South St. Paul, Dakota County, Minnesota, together with that part of the vacated alley in said Block 1 and that part of the vacated Conver Avenue which lies between the North and South extensions of the East line of said Lot 20 and the West line of said Lot 19. EXCEPT the North 37 feet of Lots Seven (7), Eight (8) and Nine (9) and the South One Half (S 1/2) of vacated Conver Street which adjoins the lots to the North, Block Three (3), Summit Park Addition to South St. Paul, Dakota County, Minnesota.

ALSO EXCEPTING therefrom any part of the previous described parcels which were platted as Lot 3, Block 1, Thompson Park, according to the recorded plat thereof, Dakota County, Minnesota.
 PID: 42-73200-01-120, 42-73200-01-200, 42-73200-01-240, 42-73200-03-120, 42-73200-03-102

The surveyed property is the same property as shown on Land Title, Inc LT File No. 7039814 having an effective date 3-4-25. The survey is subject to revision if additional title documents, easements, or encumbrances are discovered or provided.

Table A

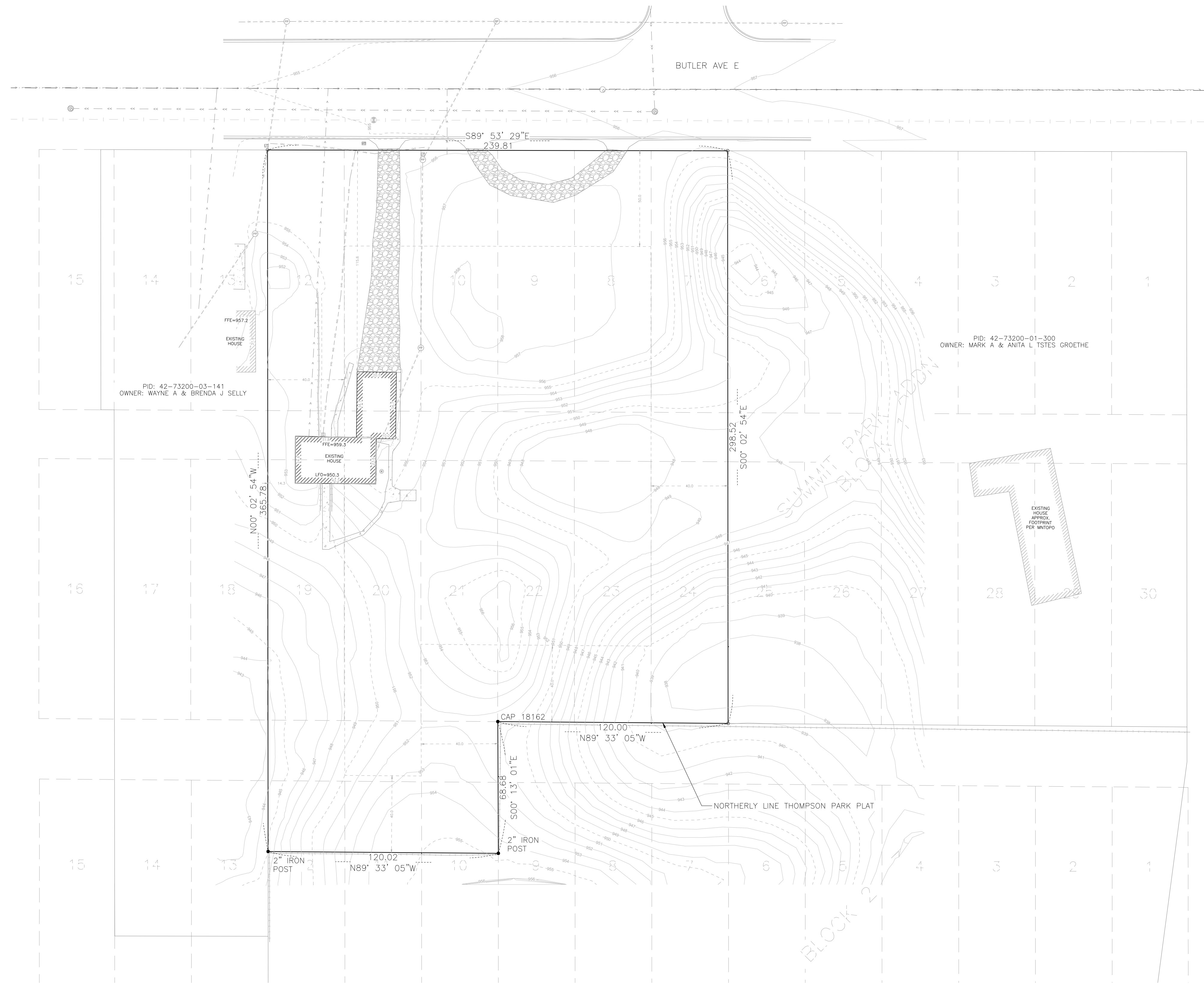
3. The property described hereon does not lie in a 100-year floodplain per flood map No. 27037C0040E, effective December 2nd, 2011, which is the latest available flood map. This was only a graphic analysis, no fieldwork was done to verify this zone.
4. Lot Area=79,655 SF (1.82 AC)
- 6(b). Accord to the West St Paul Zoning Map this Parcel is Zoned R-4 Multiple Family Residential. Setbacks per Code Online.
 Front-50', Side-40', Rear-40'
- 7(b)(1). Main Building Footprint=1,734 SF
- 11(a)(b). Utilities shown on survey were marked or shown in provided city record drawings. The surveyor does not guarantee that all underground utilities are shown or that they are in the exact position, but they are shown to as accurately as possible from the information available. Gopher State One Call Locate Ticket Numbers 251260304 & 251260305.
13. Adjoining ownership information obtained via Hennepin County Website. This information is subject to change upon a title search by a title insurance company.
16. No evidence of earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
17. No recent street or sidewalk construction or repairs observed in the process of conducting the field work.
18. No easements shown on plats or reported in provided title work.

To City of West St. Paul Economic Development Authority & Old Republic National Title Insurance Company: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6b, 7a, 7b1, 8, 11a, 11b, 13, 16, 17, 18 of Table A thereof. The fieldwork was completed on 5-13-2024.

LEGEND

● FOUND MONUMENT	----- FENCE
○ SET CAP 6508	----- WALL
⊞ ELECTRIC METER	----- GAS
⊞ GAS METER	----- OVERHEAD LINE
⊞ UTILITY PEDESTAL	----- WETLAND
⊞ MAILBOX	
⊞ POWER POLE	
⊞ CURBSTOP	
⊞ WELL	
⊞ GATE VALVE	
⊞ SANITARY MANHOLE	
⊞ STORM MANHOLE	

SURVEY NOTES
 1. BEARINGS ARE ASSUMED
 2. BENCHMARK-MN/DOT GEODETIC MONUMENT "BUTLER MN037" ELEV.=957.43 (NAVD 88 DATUM)



FRANK CARDARELLE
 LAND SURVEYING

5305 WOODDALE AVE
 EDINA, MN 55424
 (952) 941-3031
 CARDARELLES@GMAIL.COM

CLIENT
 CITY OF WEST ST PAUL
 1616 HUMBOLDT AVE. WEST
 WEST ST PAUL, MN 55118

PROJECT
 BUTLER AVE APARTMENTS

REVISION	N°	DATE
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT N°: E586

SITE
 424 BUTLER AVE E
 WEST ST PAUL, MN 55118

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

Frank Cardarelle
 FRANK R. CARDARELLE REG. NO. 6508
 DATE: 06/02/25

ALTA/NSPS
 LAND TITLE SURVEY

DRAWN BY B. PASSOLT	
CHECKED BY F. CARDARELLE	
DATE 06/02/25	PAGE N°. 1 OF 1
SCALE 1"=30'	REV. SIZE - 22"X34"

GRAND OAK GROVE

KNOW ALL PERSONS BY THESE PRESENTS: That City of West St. Paul Economic Development Authority, A Minnesota public body politic and corporate, owner of the following described property:

All that tract of land described as Lots Seven (7), Eight (8), Nine (9), Ten (10), Twenty-one (21), Twenty-two (22), Twenty-three (23), and Twenty-four (24) in Block One (1), and Lots Seven (7), Eight (8), Nine (9), Ten (10), Twenty-one (21), Twenty-two (22), Twenty-three (23), and Twenty-four (24) in Block Three (3), all in Summit Park Addition to South St. Paul, Dakota County, Minnesota, according to the plat thereof on file and of record in the Office of the Register of Deeds of said County, and those parts of vacated alleys and vacated Conver Ave. lying between North and South extensions of the East and West lines of said lots, except the South 225 feet of said tract.

AND

Lots Eleven (11), Twelve (12), Nineteen (19) and Twenty (20), in Block One (1) and the North 37.14 feet of Lots 11 and 12, in Block 3, of Summit Park Addition to South St. Paul, Dakota County, Minnesota, together with that part of the vacated alley in said Block 1 and that part of the vacated Conver Avenue which lies between the North and South extensions of the East line of said Lot 20 and the West line of said Lot 19.

EXCEPT the North 37 feet of Lots Seven (7), Eight (8) and Nine (9) and the South One Half (S 1/2) of vacated Conver Street which adjoins the lots to the North, Block Three (3), Summit Park Addition to South St. Paul, Dakota County, Minnesota.

ALSO EXCEPTING therefrom any part of the previous described parcels which were platted as Lot 3, Block 1, Thompson Park, according to the recorded plat thereof, Dakota County, Minnesota.

Has caused the same to be surveyed and platted as GRAND OAK GROVE and does hereby dedicate to the public for public use the public ways and the drainage and utilities easements as created by this plat.

In witness whereof said City of West St. Paul Economic Development Authority, A Minnesota public body politic and corporate, has caused these presents to be signed by its proper officers this ____ day of _____, 20__.

City of West St. Paul Economic Development Authority

_____ as _____

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20__, by _____ of City of West St. Paul Economic Development Authority, A Minnesota public body politic and corporate, on behalf of the body politic and corporate.

signature

Printed
Notary Public, _____, County, Minnesota
My Commission Expires _____

SURVEYOR'S CERTIFICATE

I James M Bridell do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

James M. Bridell, Licensed Land Surveyor
Minnesota License No. 23266

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on ____ day of _____, 20__, by James M. Bridell.

signature

Printed
Notary Public, _____, County, Minnesota
My Commission Expires _____

CITY COUNCIL, City of West Saint Paul, State of Minnesota

This plat of GRAND OAK GROVE was approved and accepted by the City Council of West St Paul, Minnesota at a regular meeting thereof held this ____ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

By: _____ By: _____
Mayor Clerk

COUNTY SURVEYOR, County of Dakota, State of Minnesota

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20__.

By: _____
Todd B. Tollefson
Dakota County Surveyor

COUNTY BOARD, County of Dakota, State of Minnesota

We do hereby certify that on the ____ day of _____, 20__, the Board of Commissioners of Dakota County, Minnesota, approved this plat of GRAND OAK GROVE, and said plat is in compliance with provisions of Minnesota Statutes, Section 505.03, Subd. 2 and pursuant to the Dakota County Contiguous Plat Ordinance.

By: _____ By: _____
Chair, Dakota County Board Dakota County Treasure-Auditor

DEPARTMENT OF PROPERTY TAXATION AND RECORDS, County of Dakota, State of Minnesota

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20__.

By: _____
Amy A. Koethe
Director, Department of Property
Taxation and Records

COUNTY RECORDER, County of Dakota, State of Minnesota

I hereby certify that this plat of GRAND OAK GROVE, was filed in the office of County Recorder for public record on this ____ day of _____, 20__, at ____ o'clock ____M. and was duly filed in Book _____ of Plats, Page ____ as Document No. _____.

By: _____
Amy A. Koethe
County Recorder

REGISTRAR OF TITLES, County of Dakota, State of Minnesota

I hereby certify that this plat of GRAND OAK GROVE, was filed in the office of Registrar of Titles for public record on this ____ day of _____, 20__, at ____ o'clock ____M. and was duly filed in Book _____ of Plats, Page ____ as Document No. _____.

By: _____
Amy A. Koethe
Registrar of Titles



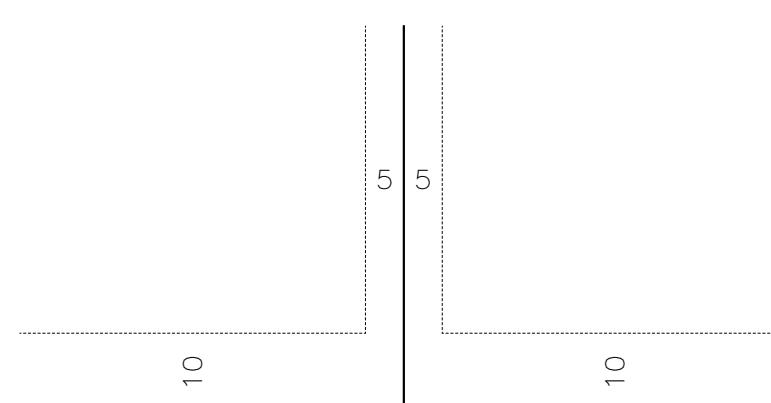
GRAND OAK GROVE

COUNTY ROAD NO. 4 (BUTLER AVENUE E)

NORTH LINE OF SE 1/4 SEC 17

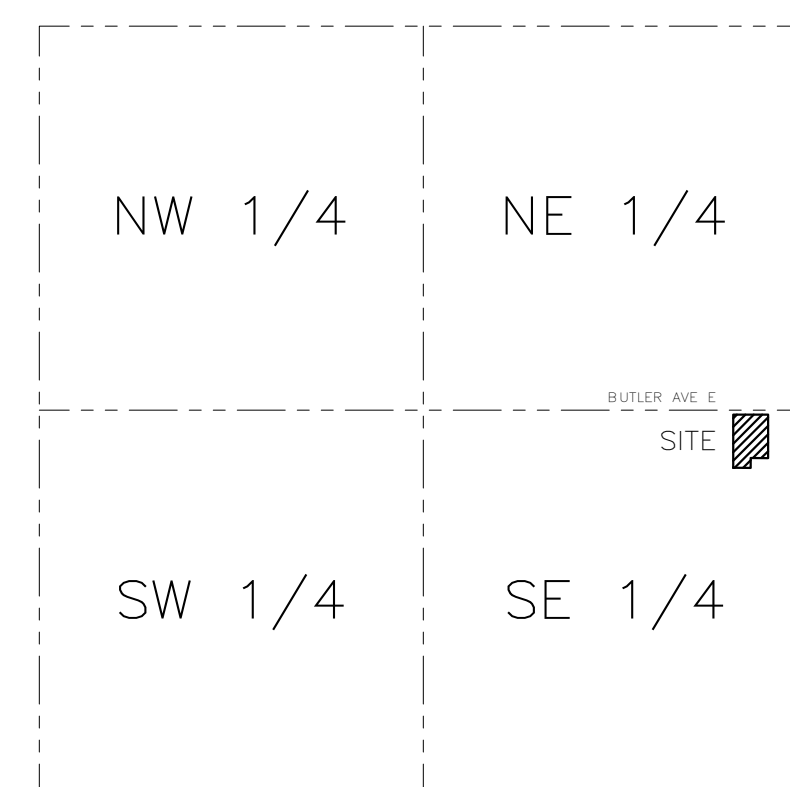
EAST 1/4 CORNER OF SEC. 17

DRAINAGE AND UTILITY EASEMENTS SHOWN THUS:



BEING FIVE FEET IN WIDTH AND ADJOINING SIDE LOT LINES AND BEING 10 FEET IN WIDTH AND ADJOINING PUBLIC WAYS, UNLESS OTHERWISE INDICATED ON THIS PLAT.

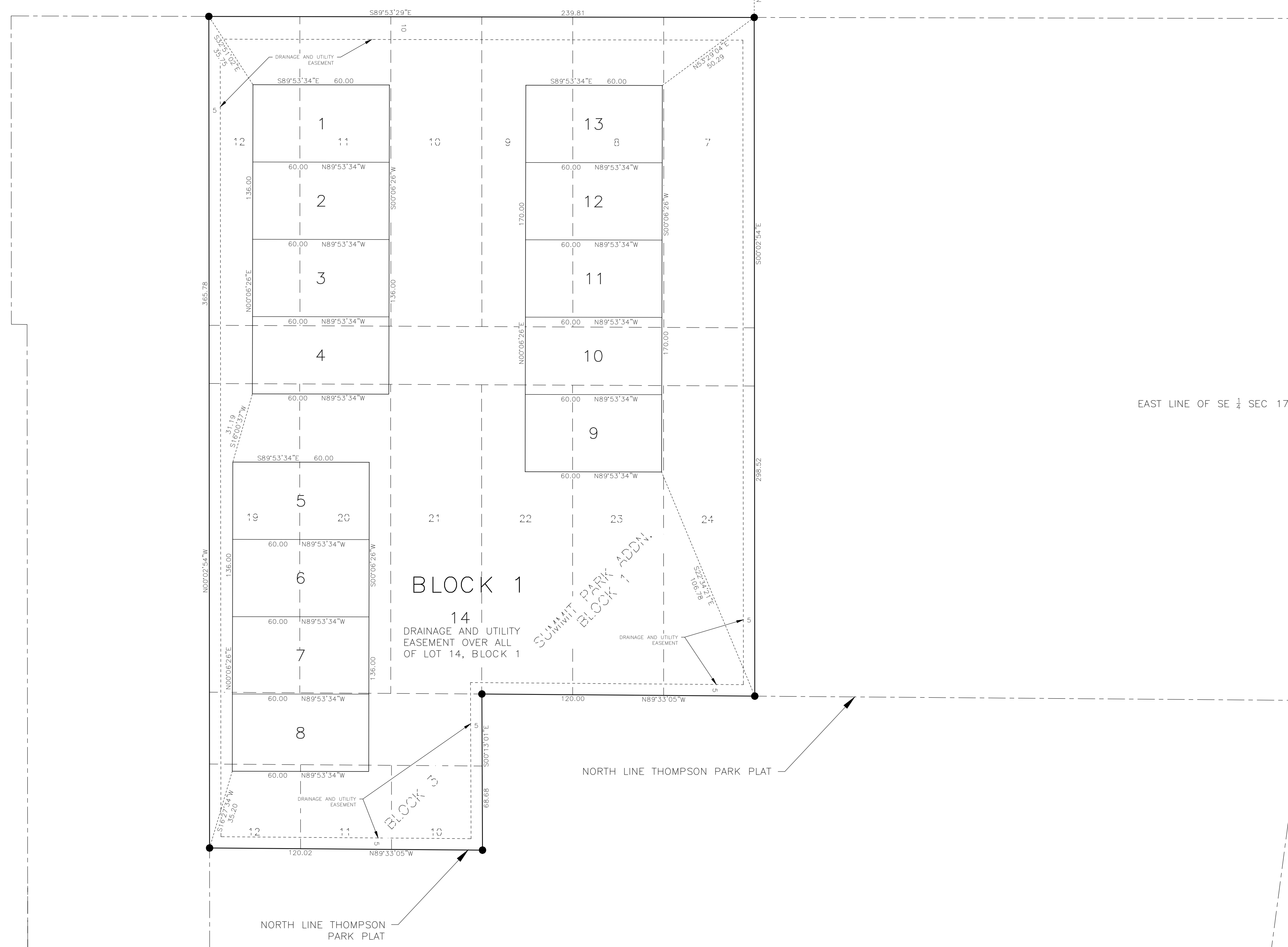
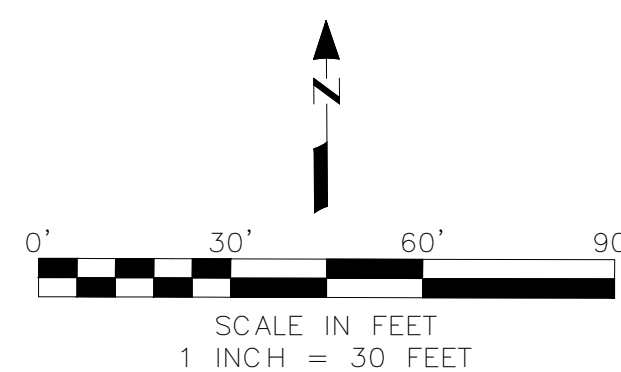
VICINITY MAP
NO SCALE



SEC. 17, T28N, R22W
DAKOTA CO. MN

BEARING ARE BASED ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SEC. 17, TWP. 28, RGE. 22 WHICH IS ASSUMED TO HAVE A BEARING OF N89°52'33"W. NO MONUMENT SYMBOL SHOWN AT ANY STATUTE REQUIRED LOCATIONS, INDICATES A PLAT MONUMENT THAT WILL BE SET WITHIN ONE YEAR OF THE FILING OF SAID PLAT.

- DENOTES COUNTY MONUMENT
- DENOTES FOUND MONUMENT
- DENOTES 1/2 INCH BY 12 INCH REBAR SET AND MARKED BY LICENSE NO. 23266 UNLESS OTHERWISE SHOWN



EAST LINE OF SE 1/4 SEC 17

FRANK CARDARELLE
LAND SURVEYING